

Town of Garner - New Developments (2015-2018)



Apartment Residential Developments:

- | | |
|-----------------------|--------------------------------|
| 1. Pennington Grove | 94 Units (Under Construction) |
| 2. Evolve Timber | 308 Units (Under Construction) |
| 3. Abberly Montane | 282 Units (Approved) |
| 4. Deer Harbour | 248 Units (Finished) |
| 5. McCullers Walk | 412 Units (Under Construction) |
| 6. Lofts at Aversboro | 26 Units (Approved) |

Townhome Residential Developments

- | | |
|-----------------------------|-------------------------------|
| 1. Landings at Heather Park | 81 Units (Under Construction) |
| 2. Country Walk | 122 Units (Approved) |
| 3. McCullers Walk | 94 Units (Under Construction) |

New School Developments

1. Bryan Road Elementary School (New)
2. South Garner High School (New)

Legend:

- Garner Corporate Limits (15.88 sq. mi.)
- Garner ETJ (23.16 sq. mi.)

Single Family Residential Developments

- | | |
|--------------------------|-------------------------------|
| 1. Habitat for Humanity: | 16 Lots (Approved) |
| 2. Vandora West : | 42 Lots (Under Construction) |
| 3. Preakness Place: | 41 Lots (Under Construction) |
| 4. Auburn Village: | 379 Lots (Approved) |
| 5. Country Walk: | 215 Lots (Approved) |
| 6. Bryan Road: | 41 Lots (Approved) |
| 7. Clifford Grove: | 115 Lots (Under Construction) |
| 8. Tingen: | 18 Lots (Approved) |
| 9. Oak Park: | 212 Lots (Under Construction) |
| 10. Creekside: | 92 Lots (Under Construction) |
| 11. McCullers Walk: | 94 Lots (Under Construction) |
| 12. Swift Creek Station | 589 Lots (Approved) |

1. IF FRUITING TREES ARE PLANTED ON PUBLIC AND PRIVATE STREETS OR SITUATED ON THE PLANS IN MARKET PLACE, PLANS FOR PUBLIC AND PRIVATE STREETS OR SITUATED ON THE PLANS IN MARKET PLACE ARE REQUIRED. THEY MUST BE APPROVED BY THE PUBLIC WORKS DEPARTMENT AND PUBLIC UTILITIES DEPARTMENT PRIOR TO ISSUANCE OF PERMITS ON RECORDING OF A DEVELOPMENT PLAN.
2. PLANTING SPECIES WITHIN 1' OF TREES ON DRIVEWAY MUST HAVE ANBLES STAKES INSTALLED TO PROTECT VEGETATION.
3. LANDSCAPING ACCESS ROADS FOR PARALLEL DRIVEWAYS SHALL PROVIDE AN ADEQUATE TURNING RADIUS OF 30' MINIMUM.
4. TREES AND CANOPIES PLANTED WITHIN DRIVEWAY SHALL MATCH MATERIAL, ANGLE AND COLOR OF THE PRINCIPAL BUILDING.
5. PLANTING OF CANOPIES AND TREES WITHIN DRIVEWAYS TO INCLUDE, BUT NOT BE LIMITED TO, TREES AND CANE PROTESTAS, ELECTRICAL TRANSFORMERS, BACKLASH SPARE, HETERO, ETC. SHALL BE SCREENED FROM OFF-STREET VIEWER. EVERGREEN DRIVEWAY FENCE IS ALLOWED.
6. CONSTRUCTION TO FIELD LOCATIONS AND VISIT ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION AND REPORT ANY DISCOVERIES TO LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION. CONTACT THE ONE AT THE FIELD LOCATION OF ANY UTILITIES.
7. HANDICAP PARKING SPACES AND NO ACCESS SIGNALS SHALL BE NO GREATER THAN TWO INCHES SPLITCH AT ANY DIRECTION AS PER ADA STANDARDS.
8. PERMANENT SIGNAGE AND STREPPING OF HANDICAP SPACES AS PER ADA STANDARDS.
9. ALL HANDICAP SPACES SHALL BE GREATER THAN 5' IN WIDTH TO MEET ADA STANDARDS.
10. PERMANENT AND TEMPORARY SIGNAGE DESIGN, SPECIES APPROVED SHOW POINT PRIOR TO INSTALLATION. SIGNAGE MUST COMPLY WITH THE TOWN OF GARDNER SIGN OFFENSE.
11. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH TOWN OF GARDNER ANIMAL ADOP

- [illegible]

Building = 50'	Base	Additional**	Total
Front	25	0	25
Rear	25	0	25
Side	15	0	15

Base	Additional*	Total	
Front	25	15	50
Rear	25	15	40
Side	15	15	30

Base	Additional*	Total	
Front	25	30	55
Rear	25	30	55
Side	15	50	65

* Add 1' of setback for each additional foot of wall in excess of 35'

- **COURTYARD** (SEE LIST 2 FOR ENLARGED PLAN)
 1. POOL
 2. CABBIN
 3. POOLDECK (PW92)
 4. SEATING AREAS
 5. GRILL
- **DOG PARK**
 1. FENCED PLAY AREA
 2. BENCH

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- **DOG PARK**
 1. FENCED PLAY AREA
 2. BENCH

SEE US.1 FOR ENLARGED COURTYARD AMENITY PLAN.
SEE LL.1 FOR LIGHTING PLAN.
SEE US.1 FOR SITE DETAILS.

[illegible]

Town of Grafton Zoning Requirements		
Project: Timber Drive Apartments		
Date: 11.01.2019 (revised 12.18.2020)		
Overall Site Data		
Lot number		1102-12-7
Address		
Proposed zoning		Value
Existing use		Value
Proposed use		Apartment
Proposed type of building construction		
Building setbacks and height requirements		
Minimum density (floors to MP %)		15 DU
Front yard		30 FT
Side yard (other than corner)		15 FT
Corner side yard		20 FT
Back yard		25 FT
Minimum height	10 ft 1' setback for each foot over 30'	30 FT
Preserved tree cover		10% of entire tract
Other area info		no stream
Use category		no recreation
TRACT AREA		
Parcel 1102-12-7100 Parcel of		16.61 AC
R/W dedication		0.28 AC
Total tract area		16.91 AC
Proposed DU		
1 bedroom units		128 DU
2 bedroom units		151 DU
3 bedroom units		8 DU
Total DU proposed		287 DU
Minimum density	10.61 AC = 43.86 SF = 884.12 SF	287 DU
Proposed residential floor area	284,180 / 5,000 / 1,500 =	284 DU
Proposed 1 and 2 units proposed (118,170)	12 % = 39,612 AC =	2,28 AC
Proposed 3 bedroom units		0.88 AC
Proposed 3 bedroom units (24)		11.88 AC
Proposed 3 bedroom units (24)		33.88 AC
Proposed building height		30 FT
Buildings 1-5, 7-9	30 FT	3 stories
Building 6	35 FT	4 stories
Proposed parking spaces required		
1 bedroom units	128 DU x 1.5 =	188.00
2 bedroom units	151 DU x 2.0 =	312.00
3 bedroom units	8 DU x 2.5 =	20.00
Minor spaces (1 per 4 units)	2,000 x 0.25 =	500.00
Total spaces required		870.00
HC Spaces required	874 SF x .25 =	218.50
Parking spaces provided		
Standard spaces, residential		532.00
Garage spaces		32.00
HC spaces (2 cars)		20.00

[illegible]

1. CONTACT JESSICA MUELLER IN THE BUILDING DEPARTMENT AT 813.733.4400 OR jessicamuel@hialeah.gov TO SCHEDULE A PRE-INSPECTION MEETING PRIOR TO DEMOLISHING BUILDING PERMITS FOR THIS PLAN.
2. ALL ROOF DRAINS SHALL BE DIRECTED TO THE STORM DRAINAGE SYSTEM.
3. DETAILS AND CONSTRUCTION SPECIFICATIONS SHALL BE SUBMITTED TO THE CITY ENGINEER AND VERIFYING ENGINEER AND VETERINARIAN APPROVING ALL HAZARDOUS WASTE SYSTEM SHALL BE REQUIRED ON BOTH CATCH ENTRY POINTS. THIS PLAN BE ORDERED THROUGH THE SANITARY HAZARDOUS WASTE DIVISION BY CLOSING ON THE "DUMP" TAB.
4. ALL PRIVATE FEE INFORMATION ON THIS PROPOSAL SHALL BE PROVIDED IN ACCORDANCE WITH THE NEW CITY OF HIALEAH PERMIT SPECIFICATIONS. THE DOCUMENTATION FOR THE PERMIT SPECIFICATIONS AND REQUIRED INFORMATION ATTACHES (A) TO (F) TO THE PERMIT APPLICATION. THE FOLLOWING INFORMATION IS REQUIRED: (A) ALL THE FOLLOWING INDIVIDUALS (A) OR (B) MUST BE A CC LEFT FOOT, FLOORING, CARPENTRY, OR MECHANICAL WHITEHEADS. (C) ALL THE INFORMATION ON THE PERMIT SPECIFICATIONS SHALL BE SUBMITTED TO THE CITY ENGINEER. THE PURPOSE OF THIS EMAIL WILL BE TO SERVE AS DOCUMENTATION OF FORWARDING PROPOSER TO DETERMINE COMPLIANCE IN THE EVENT AN EXTENSION IS NEEDED FOR THE PROJECT. THE PROJECT WILL BE EXTENDED TO THE SERVICE HAZARDOUS WASTE DIVISION FOR EACH OF

JDAVIS



Abberly Montane Apts Site Plan

Garner, North Carolina

HHHunt

FOR REVIEW ONLY
NOT FOR
CONSTRUCTION

		DATE
PROJECT	HUNT-18007	11.01.2018
ISSUE	REZONING REQUEST	11.01.2018
REVISIONS	1st Review Comments	12.01.2018
	2nd Review Comments	12.18.2018
	3rd Review Comments	01.04.2017
DRAWN BY	CHW, DR	
CHECKED BY	KT	
CONTENT	SITE PLAN	

LS1.1

CUD-SP-16-34

SITE PLAN



Know what's below.
Call before you dig.

SCALE 5-6

60° 30° 0° 60° 120°

Project Team

OWNER:
Gomer Land Company, LLC
c/o Lohr Associates, Inc.
Houston, Texas 77060-2800

CONSULTANT:
Landscape Institute

For more information contact
Nancy, North Carolina Area
248.888.4144
248.888.1911
www.danaher.com

John A. Edwards & Co.
16100 State Avenue
Rancho Santa Anita Drive
San Juan Capistrano, CA 92675
(714) 261-1000

Electrical Engineer
Lithuania Engineering

010-5561-0789
www.amsinc.co.jp
ams@amsinc.co.jp

DEVELOPER:
IBM Corp./Developmental
1611 Broadway Drive, Suite 110
Beverly Hills, CA 90210-1091

Introduction

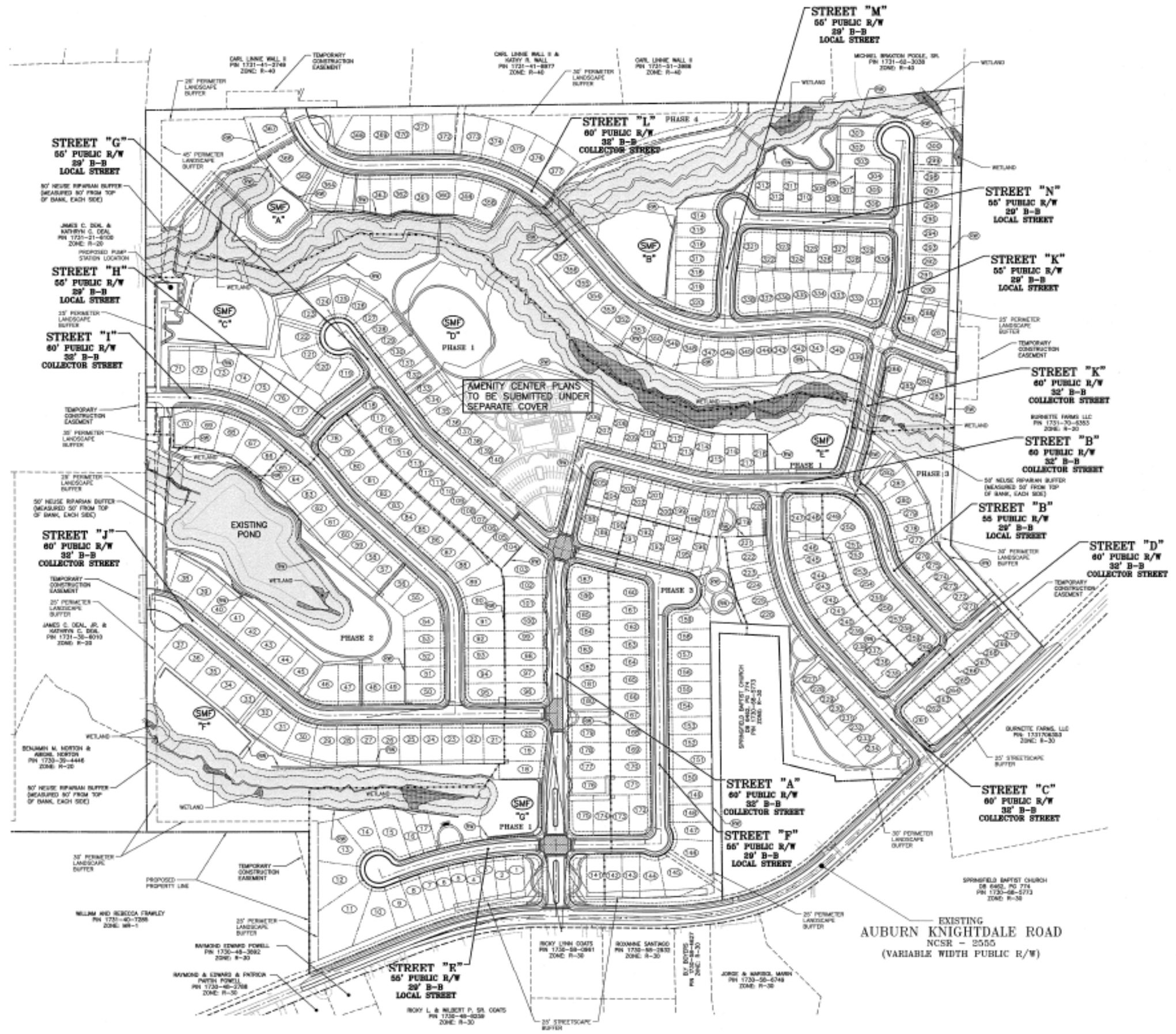
Erin M. Whiting, PhD
Faculty, North Carolina State
University
erwhiting@ncsu.edu

Contractor
John A. Edwards & Co.
10000 Lakeshore
Houston, Texas 77043
(713) 861-1000

TEHRAN FOUNDATION CHARITABLE
TRUST, SHERMAN TEHRAN JR
PH 12215-82-2000
OR 12215, PO 1241
USE: VACANT

WALTER RAND YERGAN REVOCALE
TRUST, SHERMAN YERGAN &
P/W 173013-80-2078
DB 1401 L PG 2642

NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMIT	02-01-2017
2	REVISION	
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100	REVISION	



LEGEND:

RETAINING WALL (DESIGN BY OTHERS)

STORMWATER MANAGEMENT FACILITY



SEE SHEET C-2 FOR ALL PROJECT, SITE, GRADING, STORM DRAINAGE AND UTILITY NOTES

PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION

THE JOHN R. MCADAMS COMPANY, INC.
2805 Meridian Parkway
Durham

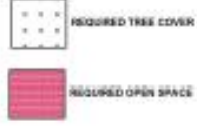


SITE DATA	
CURRENT OWNER:	DALE LEE BRYAN JR & LOTS BRYAN
SITE ADDRESS:	820 BRYAN ROAD GARNER NC
PAR:	1028-16-1001
DEED BOOK / PAGE:	1285 / 483
MAP BOOK / PAGE:	2015 / 522
CURRENT USE:	VACANT
DEED AREA:	411,686 SF / 9.38 AC
DEED AREA IN BRYAN RD ROW:	420,550 SF / 9.60 AC
BRYAN RD ROW DEDICATION:	42,754 SF / 0.97 AC
NET SUBDIVISION AREA:	378,832 SF / 8.63 AC
PROPOSED LOTS:	41 LOTS
PROPOSED DENSITY:	42.26 UNITS/AC
OPEN SPACE REQUIRED @ 10%:	47,883 SF
OPEN SPACE PROVIDED:	411,686 SF
OVERALL COMMON OPEN SPACE:	406,803 SF
SUBDIVISION ROW AREA:	13,832 SF
AREA IN LOTS:	341,104 SF
ZONED:	R-40
OVERLAY DISTRICT:	SWIFT CREEK OVERLAY DISTRICT
PROPOSED ZONING:	R-40 CUD
BUILDING SETBACKS (R-40):	
FRONT:	25'
REAR:	25'
SIDE:	8' MIN, 10' MAX CORNERED IF LESS THAN 10' A 6' PROPERTY MAINTENANCE EASEMENT MUST BE PROVIDED ON ADJACENT LOT AND RECORDED ON FINAL PLAT
BUILDING HEIGHT:	35' MAX
EXISTING IMPERVIOUS AREA:	10 SF
PROPOSED IMPERVIOUS AREA (MAX 30% OF SITE):	420,550 SF

- GENERAL NOTES**
- BOUNDARY INFORMATION TAKEN FROM DEEDS. EXISTING TOPOGRAPHIC INFORMATION TAKEN FROM BUREAU OF LAND SURVEY. EXISTING UNDERGROUND STRUCTURES AND UTILITIES BASED UPON FIELD SURVEYS AND BEST AVAILABLE INFORMATION. THE CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING EXISTING CONDITIONS, INCLUDING THE HORIZONTAL AND VERTICAL LOCATION OF ALL UTILITIES PRIOR TO STARTING CONSTRUCTION AND NOTIFY ENGINEER OF ANY DISCREPANCIES.
 - THE CONTRACTOR SHALL CONTACT NORTH CAROLINA ONE CALL AT 811 AND THE CITY OF RALEIGH UTILITIES. THE CONTRACTOR SHALL CALL AT LEAST 48 HOURS PRIOR TO ANY DIGGING.
 - ALL CONSTRUCTION SHALL BE IN CONFORMANCE TO THE TOWN OF GARNER AND NC DOT STANDARDS AND SPECIFICATIONS.
 - ALL WATER AND SANITARY SEWER INSTALLATION SHALL BE IN CONFORMANCE WITH THE CITY OF RALEIGH PUBLIC UTILITY DEPARTMENT STANDARDS AND SPECIFICATIONS.
 - THE SUBJECT PROPERTY IS NOT LOCATED IN A FLOOD HAZARD AREA PER FEMA FIRM PANEL MAP NUMBER 370217100J DATED MAY 2, 2006.

- SUBDIVISION NOTES**
- ALL CONSTRUCTION SHALL BE IN CONFORMANCE TO THE TOWN OF GARNER AND NC DOT STANDARDS AND SPECIFICATIONS.
 - THE CONTRACTOR SHALL CONTACT NORTH CAROLINA ONE CALL AT 811 AND THE CITY OF RALEIGH UTILITIES. THE CONTRACTOR SHALL CALL AT LEAST 48 HOURS PRIOR TO ANY DIGGING.
 - ALL CONSTRUCTION SHALL BE IN CONFORMANCE TO THE TOWN OF GARNER AND NC DOT STANDARDS AND SPECIFICATIONS.
 - ALL WATER AND SANITARY SEWER INSTALLATION SHALL BE IN CONFORMANCE WITH THE CITY OF RALEIGH PUBLIC UTILITY DEPARTMENT STANDARDS AND SPECIFICATIONS.
 - THE SUBJECT PROPERTY IS NOT LOCATED IN A FLOOD HAZARD AREA PER FEMA FIRM PANEL MAP NUMBER 370217100J DATED MAY 2, 2006.

PRELIMINARY
FOR REVIEW ONLY
NOT RELEASED
FOR CONSTRUCTION



CE GROUP

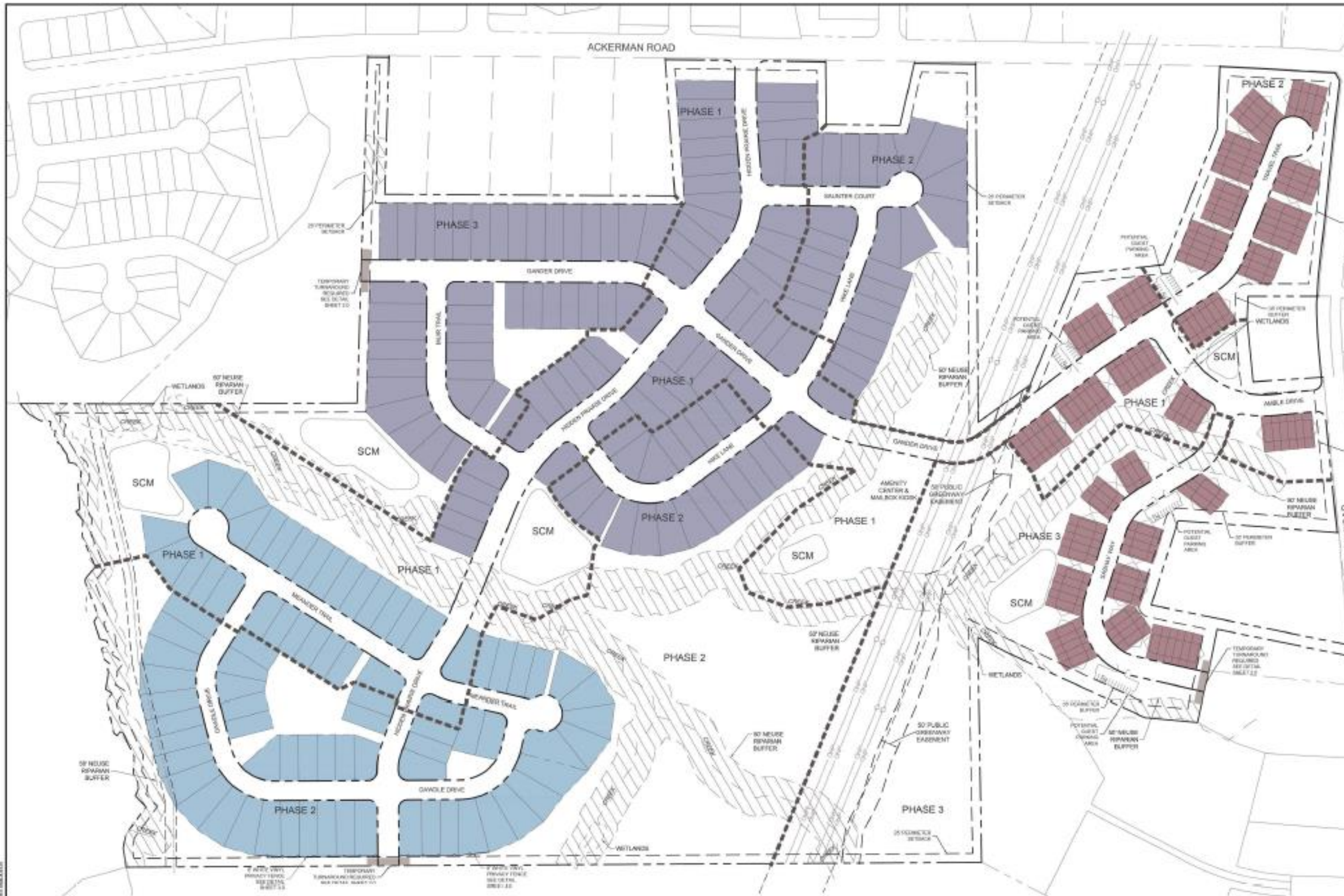
301 GLENWOOD AVE. 220
RALEIGH, NC 27603
PHONE: 919-367-0790
FAX: 919-322-0032

www.cegroupinc.com

License # C-1739

PRELIMINARY SUBDIVISION PLAN
BRYAN PROPERTY
PRELIMINARY STORMWATER
MANAGEMENT PLAN
GARNER, NORTH CAROLINA

Date: 4/24/2017
Scale: 1" = 60'
Sheet: R-40
Checked: AIF
Project No: 139-07
Computer Day Name: 139-07
Sheet No: 4 of 7



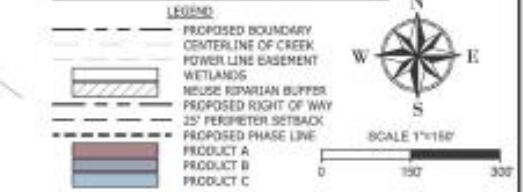
- NOTES**
1. Phasing is preliminary and subject to change with approval from Town of Garner.
 2. Refer to Planned Residential Development Master Plan for all building requirements. Any requirements not specifically referred to in this Master Plan shall revert to the Town of Garner UDO requirements.
 3. All streets shall be public and turned over to the Town of Garner. See street section designs in development booklet & Circulation Plan Sheet C2.0.
 4. Ackerman Road and Hebron Church Road improvements shall be approved by NCDOT and constructed by the developer.
 5. Left Turn Lanes are proposed at both entrances.
 6. The street layout is conceptual and subject to change. Approval by Town Staff is required.
 7. An encroachment agreement with NCDOT will be required prior to construction on Ackerman Road and Hebron Church Road.
 8. The mail kiosk for the neighborhood shall be located at the Amenity Area. The proposed kiosk shall be covered, well-lit and will be accessible by all neighborhood residents with convenient parking. Approval from USPS shall be obtained prior to the separate site plan approval of the Amenity Area. Temporary mail kiosk with parking must be completed prior to the first CO.
 9. The Town will be responsible for payment of the monthly costs for lighting and the developer will be responsible for all initial fees charged with the light installation. All installation fees are required to be paid up front at time of installation. Lighting along Ackerman Road and Hebron Church Road will need to be in accordance to NCDOT standards.

SITE DATA

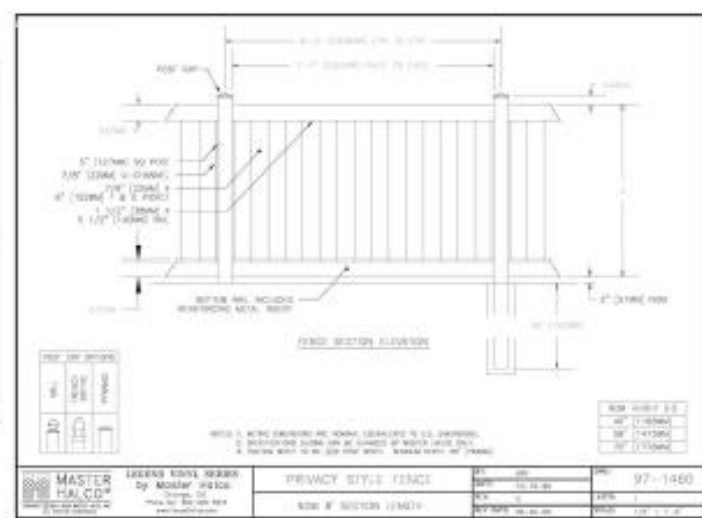
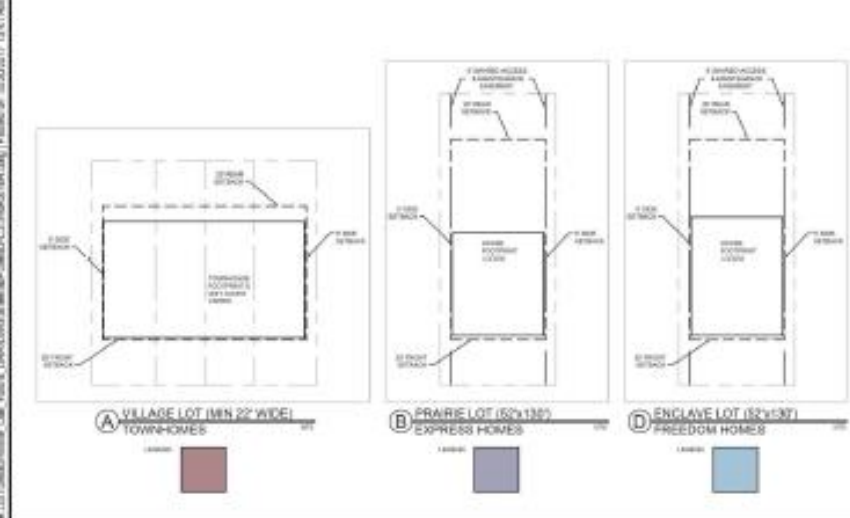
SITE AREA	129.10 AC
DEDICATED RIGHT OF WAY	0.52 AC
TOTAL AREA	128.58 AC
TOTAL LOTS ALLOWED	750 LOTS
TOTAL LOTS PROPOSED	337 LOTS
DENSITY PROPOSED	2.6 DU/AC
LF PUBLIC STREET	12,872 LF
APPROXIMATE IMPERVIOUS AREA (27%)	35 AC

RECREATION & USABLE OPEN SPACE AREA

PHASE 1	25.4%
PHASE 2	25.4%
PHASE 3	35.3%



- ZONING CONDITIONS**
1. Use of the property shall be limited to residential housing & associated amenities.
 2. The maximum density shall not exceed 2.6 dwelling units per acre without modifications to the Master Plan as outlined in this document, the Country Walk Design Guidelines & Standards. An Architectural Review Committee shall be created prior to the first final plat to review & approve, prior to any Town of Garner review, proposals for internal development including architecture, building placement, signage & landscaping per the Country Walk Design Guidelines & Standards.
 3. Roll curb & gutter shall be utilized throughout the neighborhood on all Town of Garner Public Streets.
 4. A deviation of greater than 20% is requested regarding Section 6.12.A single family lot sizes in PRD developments. This section requires sixty percent (60%) of all single-family lots to be at least 12,000 SF & forty percent (40%) meeting a 9,000 SF lot size. 215 single family lots are proposed. A deviation allowing sixty-two percent (62%) of single family lots to be 6,750 SF or larger instead of 12,000 SF is proposed, an approximate 44% reduction & thirty-eight percent (38%) of single family lots to be 6,750 SF or larger instead of 9,000 SF, an approximate 25% reduction. Having smaller lots reduces the required yard maintenance by homeowners & preserves greater recreation & usable open space areas & common space areas. Increased safety of residents & encouraging interactions between neighbors builds a tighter knit community.
 5. A deviation of greater than 20% is requested for Section 6.12.A building setbacks for a PRD development. Lot setbacks are outlined to follow the requirements for the R-12 zoning district. R-12 setbacks are as follows: Front-30', Rear-20', Side 6' minimum, 15' combined minimum, Corner Side-20'. Proposed setbacks for the detached single family lots are as follows: Front-20' (a 33% reduction), Rear-20', Side 5' (a 33% reduction), Corner Side-12' (a 40% reduction). For the attached townhomes, lot setbacks are as follows: Front-35', Rear-25', Side-15', Corner Side-25'. Proposed setbacks are as follows: Front-20' (a 43% reduction), Rear-20' (a 20% reduction), Side 5' (a 67% reduction), Corner Side-10' (a 60% reduction). In addition, the attached townhomes shall comply with the building triangulation method found in Section 6.10.E. A safer, more secure environment & better communications between neighbors is a benefit of utilizing reduced building setbacks.
 6. A deviation of greater than 20% is requested for Section 8.2.L.2.d regarding cul-de-sac lengths for a residential subdivision. The maximum allowable length requirement is 500 feet. An increase in length for Travel Trail, the street located in the townhome section heading north towards the Ackerman Road & Hebron Church Road intersection is requested. Because of the proximity to the intersection & adjacent Duke Energy Progress power facility, a cul-de-sac length of 690 feet is requested, a 38% percent increase.
 7. The Neighborhood Recreation Amenity Area shall be constructed with the first phase. Pool shall be a minimum of 2,000 square feet & clubhouse shall be a minimum of 1,775 square feet. Neighborhood Recreation Amenity Area shall be started when construction of the model homes commences & shall be completed within 18 months.



Land Use	Acreage (ac)	% Area	Units	% Units	Product Type
Residential					
Village Lots (Townhomes)	11.56	9%	122	36%	A
Prairie Lots (Express Homes)	33.38	26%	133	39%	B
Enclave Lots (Freedom Homes)	0	0%	0	0%	C
Enclave Lots (Freedom Homes)	20.95	16%	80	24%	D
Total			337	100%	
Right of Way Dedication					
Ackerman Road	0.50	0.00%			
Hebron Church Road	0.42	0.33%			
Recreation & Usable Open Space					
Amenity Area	2.30	2%			
Recreation & Usable Open Space	34.44	27%			
Common Areas					
Common Areas	26.45	20%			
Total	129.10	100%			

TIMMONS GROUP

NORTH CAROLINA LICENSE NO. C-1652

COUNTRY WALK

ACKERMAN ROAD & HEBRON CHURCH ROAD, GARNER, WAKE COUNTY, NORTH CAROLINA

PRELIMINARY MASTER PLAN

THIS PLANNING PREPARED AT THE
TIMMONS GROUP
5410 TOWN ROAD, SUITE 100, GARNER, NC 27607
TEL 919.966.4841 FAX 919.955.4124 WWW.TIMMONSGROUP.COM

YOUR VISION ACHIEVED THROUGH OURS

DATE: 07/03/2017

DESIGNED BY: E. BLACKMON

CHECKED BY: J. CHANDLER

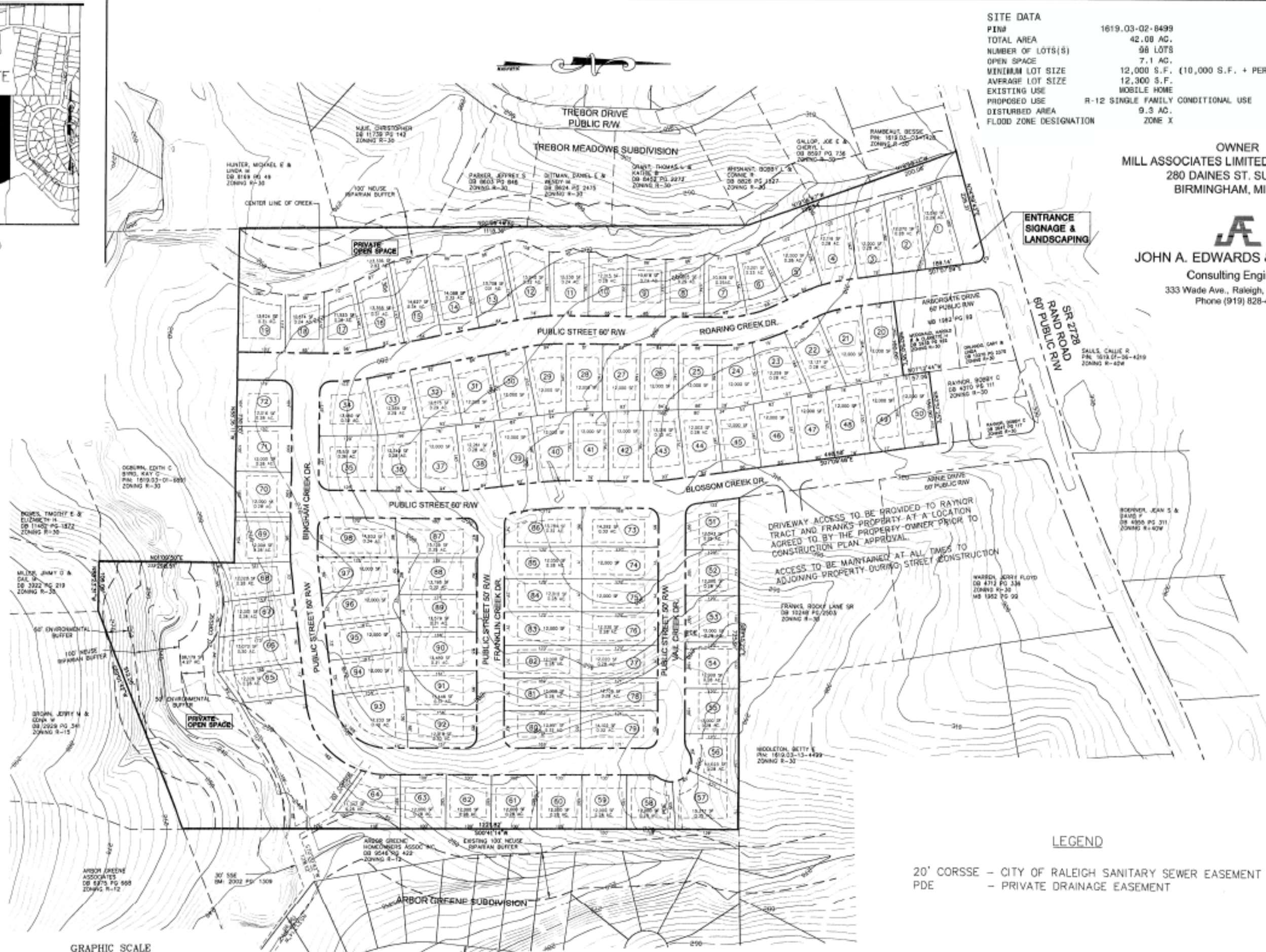
SCALE: 1"=150'

JOB NO.: 39883

SHEET NO.: 3.0



VICINITY MAP INTS



SITE DATA	
PIN#	1619-03-02-8499
TOTAL AREA	42.08 AC.
NUMBER OF LOTS(S)	98 LOTS
OPEN SPACE	7.1 AC.
MINIMUM LOT SIZE	12,000 S.F. (10,000 S.F. + PERMITTED REDUCTION)
AVERAGE LOT SIZE	12,300 S.F.
EXISTING USE	MOBILE HOME
PROPOSED USE	R-12 SINGLE FAMILY CONDITIONAL USE
DISTURBED AREA	9.3 AC.
FLOOD ZONE DESIGNATION	ZONE X

OWNER
MILL ASSOCIATES LIMITED PARTNERSHIP
280 DAINES ST. SUITE 300
BIRMINGHAM, MI 48009



JOHN A. EDWARDS & COMPANY
Consulting Engineers
333 Wade Ave., Raleigh, N.C. 27605
Phone (919) 828-4428

ENTRANCE
SIGNAGE &
LANDSCAPING

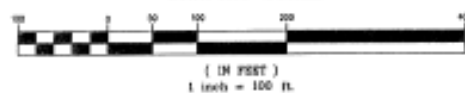
DRIVEWAY ACCESS TO BE PROVIDED TO RAYNOR TRACT AND FRANKS PROPERTY AT A LOCATION AGREED TO BY THE PROPERTY OWNER PRIOR TO CONSTRUCTION PLAN APPROVAL.

ACCESS TO BE MAINTAINED AT ALL TIMES TO ADJOINING PROPERTY DURING STREET CONSTRUCTION

LEGEND

20' CORSE - CITY OF RALEIGH SANITARY SEWER EASEMENT
PDE - PRIVATE DRAINAGE EASEMENT

GRAPHIC SCALE



JOHN A. EDWARDS & COMPANY
Consulting Engineers
333 Wade Ave., Raleigh, NC 27605
Phone (919) 828-4428
FAX (919) 828-4711
E-mail info@jaeco.com

MILL RUN SUBDIVISION

GARDNER WAKE COUNTY NORTH CAROLINA
SITE PLAN

3
7



OWNER:
GREGORY POOLE EQUIPMENT COMPANY
PIN: 1730-08-5329
DB 11750, PG 2267
MB 2004, PG 1269



JOHN A. EDWARDS & COMPANY Consulting
Engineers
NC License F-0208
333 Wade Ave., Raleigh, NC 27605
Phone: (919) 828-4428
Fax: (919) 828-4711
Email: info@jaeco.com



WINSTEAD
WILKINSON
ARCHITECTS
PLLC



LANDSCAPE ARCHITECTURE
LAND PLANNING
URBAN DESIGN
400 Wade Avenue
Raleigh, NC 27605 | 919.822.3585

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used for any other project without
written authorization of DHM Design Group.

GREENFIELD PARKWAY APARTMENTS
301 NORTH GREENFIELD PARKWAY
GARNER, NORTH CAROLINA
WAKE COUNTY

PROJECT NUMBER: 13018 DATE: 11.01.2013

DESIGNED: JAE, JR.
DRAWN: BF
CHECKED: JAE, JR.

REVISIONS:
12/04/2013 - TOWN COMMENTS
3/13/14 - UPDATE BASE

JOB DESCRIPTION:
SITE DESIGN

SHEET TITLE:
OVERALL STORM
DRAINAGE PLAN

SHEET NUMBER:
SD-1

SHEET X OF X

STORM DRAINAGE DESIGN TABLE
RATIONAL METHOD FOR PIPE SIZING ONLY

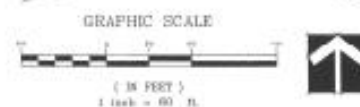
STRUCTURE	DRAINAGE AREA	Q ₁₀ (CFS)	STRUCTURE	DRAINAGE AREA	Q ₁₀ (CFS)
10.1	1.0	1.0	10.11	1.1	1.1
10.2	2.0	2.0	10.12	2.2	2.2
10.3	3.0	3.0	10.13	3.3	3.3
10.4	4.0	4.0	10.14	4.4	4.4
10.5	5.0	5.0	10.15	5.5	5.5
10.6	6.0	6.0	10.16	6.6	6.6
10.7	7.0	7.0	10.17	7.7	7.7
10.8	8.0	8.0	10.18	8.8	8.8
10.9	9.0	9.0	10.19	9.9	9.9
10.10	10.0	10.0	10.20	11.0	11.0
10.11	11.0	11.0	10.21	12.1	12.1
10.12	12.0	12.0	10.22	13.2	13.2
10.13	13.0	13.0	10.23	14.3	14.3
10.14	14.0	14.0	10.24	15.4	15.4
10.15	15.0	15.0	10.25	16.5	16.5
10.16	16.0	16.0	10.26	17.6	17.6
10.17	17.0	17.0	10.27	18.7	18.7
10.18	18.0	18.0	10.28	19.8	19.8
10.19	19.0	19.0	10.29	20.9	20.9
10.20	20.0	20.0	10.30	22.0	22.0
10.21	21.0	21.0	10.31	23.1	23.1
10.22	22.0	22.0	10.32	24.2	24.2
10.23	23.0	23.0	10.33	25.3	25.3
10.24	24.0	24.0	10.34	26.4	26.4
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10.30	30.0	30.0	10.40	33.0	33.0
10.31	31.0	31.0	10.41	34.1	34.1
10.32	32.0	32.0	10.42	35.2	35.2
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10.34	34.0	34.0	10.44	37.4	37.4
10.35	35.0	35.0	10.45	38.5	38.5
10.36	36.0	36.0	10.46	39.6	39.6
10.37	37.0	37.0	10.47	40.7	40.7
10.38	38.0	38.0	10.48	41.8	41.8
10.39	39.0	39.0	10.49	42.9	42.9
10.40	40.0	40.0	10.50	44.0	44.0
10.41	41.0	41.0	10.51	45.1	45.1
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10.51	51.0	51.0	10.61	56.1	56.1
10.52	52.0	52.0	10.62	57.2	57.2
10.53	53.0	53.0	10.63	58.3	58.3
10.54	54.0	54.0	10.64	59.4	59.4
10.55	55.0	55.0	10.65	60.5	60.5
10.56	56.0	56.0	10.66	61.6	61.6
10.57	57.0	57.0	10.67	62.7	62.7
10.58	58.0	58.0	10.68	63.8	63.8
10.59	59.0	59.0	10.69	64.9	64.9
10.60	60.0	60.0	10.70	66.0	66.0
10.61	61.0	61.0	10.71	67.1	67.1
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10.63	63.0	63.0	10.73	69.3	69.3
10.64	64.0	64.0	10.74	70.4	70.4
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10.66	66.0	66.0	10.76	72.6	72.6
10.67	67.0	67.0	10.77	73.7	73.7
10.68	68.0	68.0	10.78	74.8	74.8
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10.70	70.0	70.0	10.80	77.0	77.0
10.71	71.0	71.0	10.81	78.1	78.1
10.72	72.0	72.0	10.82	79.2	79.2
10.73	73.0	73.0	10.83	80.3	80.3
10.74	74.0	74.0	10.84	81.4	81.4
10.75	75.0	75.0	10.85	82.5	82.5
10.76	76.0	76.0	10.86	83.6	83.6
10.77	77.0	77.0	10.87	84.7	84.7
10.78	78.0	78.0	10.88	85.8	85.8
10.79	79.0	79.0	10.89	86.9	86.9
10.80	80.0	80.0	10.90	88.0	88.0
10.81	81.0	81.0	10.91	89.1	89.1
10.82	82.0	82.0	10.92	90.2	90.2
10.83	83.0	83.0	10.93	91.3	91.3
10.84	84.0	84.0	10.94	92.4	92.4
10.85	85.0	85.0	10.95	93.5	93.5
10.86	86.0	86.0	10.96	94.6	94.6
10.87	87.0	87.0	10.97	95.7	95.7
10.88	88.0	88.0	10.98	96.8	96.8
10.89	89.0	89.0	10.99	97.9	97.9
10.90	90.0	90.0	11.00	99.0	99.0
10.91	91.0	91.0			
10.92	92.0	92.0			
10.93	93.0	93.0			
10.94	94.0	94.0			
10.95	95.0	95.0			
10.96	96.0	96.0			
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10.99	99.0	99.0			
11.00	100.0	100.0			

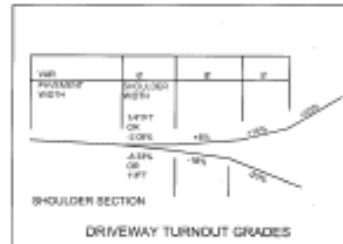
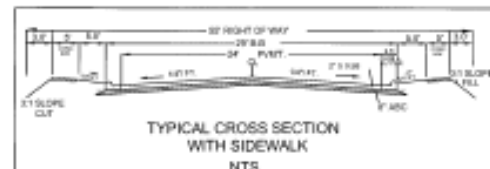
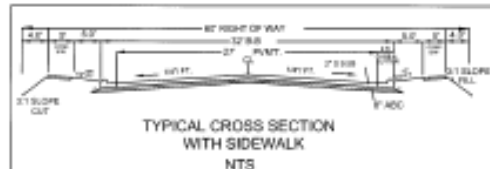
LOT 19A
RALEIGH PROPERTIES GROUP II, LLC
PIN: 1720-97-7604
DB 8927, PG 1564
MB 2007, PG 2587-2588

- LEGEND
- EXISTING FIRE HYDRANT
 - PROPOSED FIRE HYDRANT
 - EXISTING WATER VALVE
 - PROPOSED WATER VALVE
 - EXISTING WATER REDUCER
 - PROPOSED WATER REDUCER
 - EXISTING MANHOLE
 - PROPOSED MANHOLE
 - EXISTING CATCH BASIN
 - PROPOSED CATCH BASIN
 - EXISTING DROP INLET
 - PROPOSED DROP INLET
 - EXISTING FLARED END SECTION
 - PROPOSED FLARED END SECTION
 - PROPOSED FIC
 - PROPOSED CLEAN OUT
- DO - DOWN-OUT
CB - CATCH BASIN
CV - CLEANOUT
DCB - DOUBLE CATCH BASIN
FH - FIRE HYDRANT
EP - EXISTING IRON PIPE
MON - CONCRETE MONUMENT
EMH - ELECTRIC MAN HOLE
TMH - TELEPHONE MAN HOLE
SP - SIGNAL POLE
R/W - RIGHT-OF-WAY
EX FH - EXISTING FIRE HYDRANT

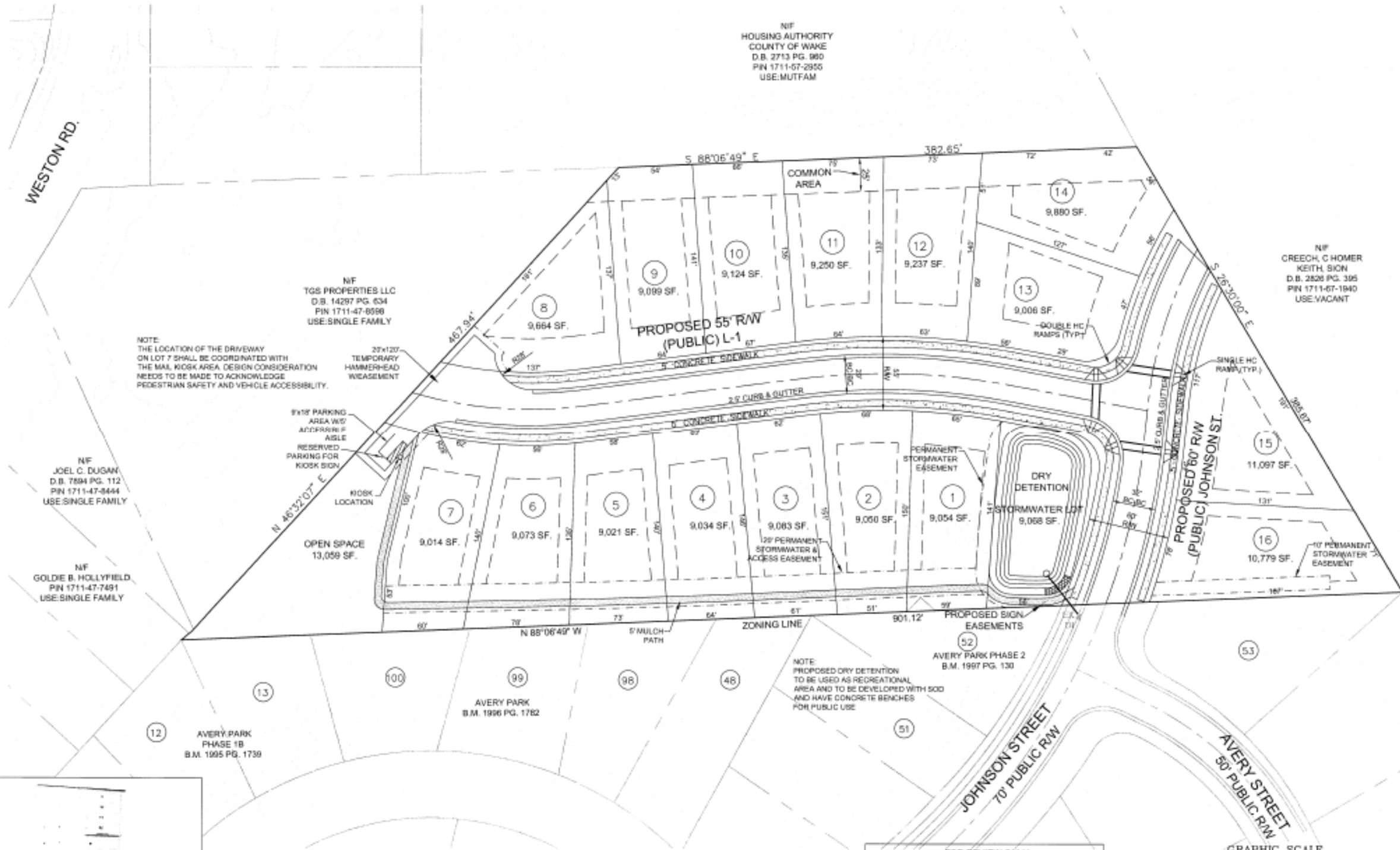
SITE DATA

DATE: 11/01/2013	PROJECT: GREENFIELD PARKWAY APARTMENTS
DESIGNED BY: JAE, JR.	DRAWN BY: BF
CHECKED BY: JAE, JR.	DATE: 11/01/2013
PROJECT LOCATION: 301 NORTH GREENFIELD PARKWAY, GARNER, NC 27540	PROJECT NUMBER: 13018
PROJECT OWNER: GREGORY POOLE EQUIPMENT COMPANY	PROJECT DESCRIPTION: OVERALL STORM DRAINAGE PLAN
PROJECT STATUS: PRELIMINARY	PROJECT PHASE: SITE DESIGN
PROJECT BUDGET: \$1,000,000	PROJECT PERMIT: NC 13018
PROJECT SCHEDULE: 12/01/2013 - 03/01/2014	PROJECT CONTACT: JAE, JR.
PROJECT TEAM: JAE, JR., BF, JAE, JR.	PROJECT ADDRESS: 301 NORTH GREENFIELD PARKWAY, GARNER, NC 27540
PROJECT PHONE: (919) 828-4428	PROJECT FAX: (919) 828-4711
PROJECT EMAIL: info@jaeco.com	PROJECT WEBSITE: www.jaeco.com



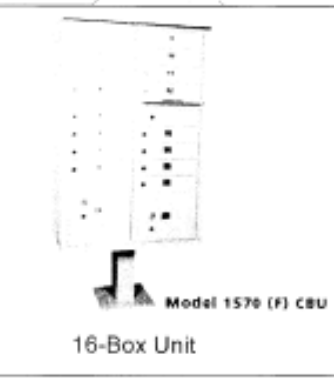


ALL WORK AND MATERIALS SHALL CONFORM TO THE STANDARDS AND SPECIFICATIONS OF WAKE COUNTY, NC DOT AND TOWN OF GARNER. THE CONTRACTOR SHALL OBTAIN A COPY OF THESE STANDARDS PRIOR TO CONSTRUCTION.



SITE DATA - TOTAL	
- TOTAL TRACT SIZE = 5.00 ACRES	
- ZONING: R-9	
- ZONING: R-9 BUILDING SETBACKS	
- FRONT 25'	
- REAR 20'	
- SIDE 6' MIN / 15' AGGREGATE	
- CORNER 20'	
- INTERIOR SETBACK DISTANCES LESS THAN 10' REQUIRES A 5' PROPERTY MAINTENANCE EASEMENT BE PROVIDED ON THE ADJOINING LOT AND RECORDED ON THE FINAL SUBDIVISION PLAT	
- EXISTING USE: WOODED	
- PROPOSED USE: SUBDIVISION	
- DISTURBED AREA = 1.5 ACRES	
- NO. LOTS = 16	
- REQUIRED OPEN SPACE = 0.30 ACRES (60%)	
- PROVIDED OPEN SPACE = 0.30 ACRES	
- MANAGED OPEN SPACE = 0.21 ACRES	
- MINIMUM LOT SIZE = 9,006 SF	
- AVERAGE LOT SIZE = 9,039 SF	
- LINEAR FEET OF STREET = 840	
- AREA OF STREETS = 1.18 ACRES	
- VARIANCE A-16-04 APPROVED JULY 28, 2016	

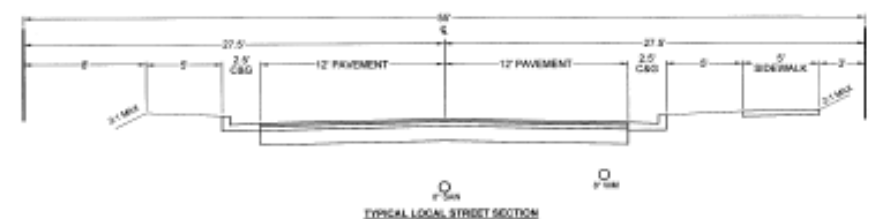
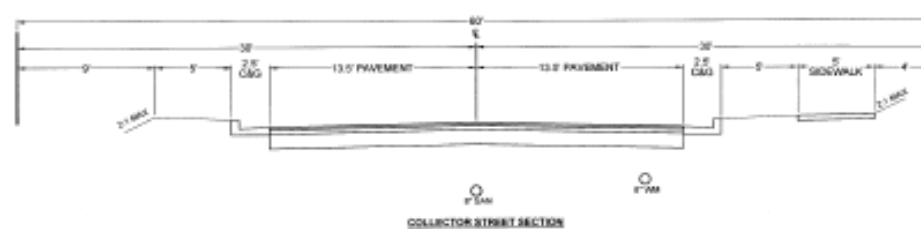
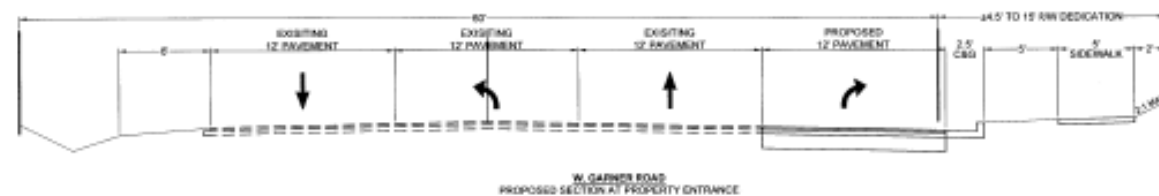
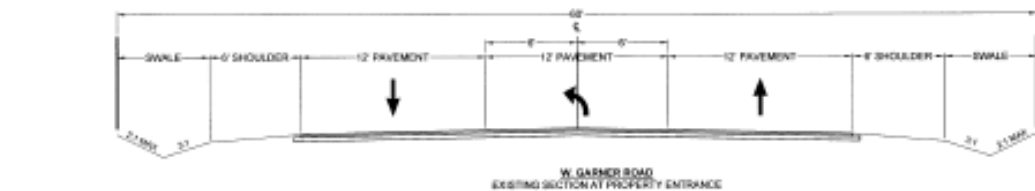
- NOTES:
- PRESENT LAND USE IS WOODED AND FALLOW.
 - STREETS WILL HAVE A 70' or 55' RW.
 - ALL CUL-DE-SACS WILL HAVE A 50' RADIUS.
 - ALL RADII AT STREET INTERSECTIONS ARE 30'.
 - ALL STREETS WILL BE PUBLIC AND CONSTRUCTED TO THE TOWN OF GARNER AND NC DOT STANDARDS.
 - WATER WILL BE PROVIDED BY CITY OF RALEIGH.
 - SEWER WILL BE PROVIDED BY CITY OF RALEIGH.
 - ALL WAKE COUNTY EROSION CONTROL MEASURES WILL BE COMPLIED WITH DURING CONSTRUCTION.
 - ALL FEDERAL FLOOD HAZARD REGULATIONS WILL BE COMPLIED WITH DURING CONSTRUCTION.
 - ALL STATE AND LOCAL GOVERNMENT APPROVALS SHALL BE SUBMITTED TO THE SUBDIVISION OFFICE BEFORE FINAL PLAT APPROVAL.
 - TOPG TAKEN FROM WAKE COUNTY TOPOGRAPHY MAPS AND SHOULD NOT BE USED EXTENSIVELY FOR DESIGN OR QUANTITY TAKEOFFS.
 - CONTOUR INTERVAL IS 2'.
 - DRAINAGE EASEMENTS SHALL BE PROVIDED FOR ALL AREAS DRAINING 4 ACRES OR 4 LOTS AND SHALL BE SHOWN ON THE CONSTRUCTION DRAWINGS AND ON THE FINAL PLAT, AFTER SUCH AREAS CAN BE DETERMINED AND HAVE BEEN FIELD VERIFIED.
 - BOUNDARY INFORMATION SURVEYED BY THIS THOMPSON AND ASSOCIATES.
 - A PETITION FOR ANNEXATION WILL BE SUBMITTED PRIOR TO RECORDATION OF THE FIRST PLAT.
 - THE TOWN OF GARNER'S UNIFIED DEVELOPMENT ORDINANCE CONTAINS DEVELOPMENT STANDARDS FOR SINGLE FAMILY AND MODULAR HOMES; PLEASE REFER TO SECTION 6.8.
 - THE DOCUMENTATION FORMING THE HOMEOWNERS ASSOCIATION, WHICH WILL MANAGE THE OPEN SPACE, MUST BE SUBMITTED FOR STAFF REVIEW PRIOR TO RECORDATION OF THE FIRST FINAL PLAT.
 - PROGRESS ENERGY WILL BE CONTACTED AND A LIGHTING PLAN WILL BE PROVIDED ACROSS THE PROPERTY FRONTAGE OF JOHNSON STREET AS WELL AS ON THE INTERIOR STREETS.
 - STREET LIGHTING TO BE INSTALLED PER TOWN OF GARNER STANDARDS. DEVELOPER TO COORDINATE WITH DUKE ENERGY FOR INSTALLATION.
 - COMMON AREA TO BE MAINTAINED BY THE HOME OWNERS ASSOCIATION.
 - WHEN PROJECT IS COMPLETED ALL SCMs INSTALLED ON-SITE MUST BE CERTIFIED BY A DESIGN PROFESSIONAL AND THE TOWN OF GARNER ENGINEERING DEPARTMENT MUST RECEIVE ALL AS-BUILT DRAWINGS PRIOR TO RECEIVING THE CERTIFICATE OF OCCUPANCY.
 - DEVELOPER WILL BE RESPONSIBLE FOR ALL INITIAL FEES CHARGED WITH THE LIGHT INSTALLATION. ALL INSTALLATION FEES ARE REQUIRED TO BE PAID UP FRONT AT THE TIME OF INSTALLATION.
 - CONTACT JUSTIN MASSENGILL IN THE ENGINEERING DEPARTMENT AT 919-773-4455 OR jmassengill@garnernc.gov TO SCHEDULE A PRECONSTRUCTION MEETING PRIOR TO OBTAINING BUILDING PERMITS FOR THIS PLAN.
 - CONTACT THE NORTH CAROLINA ONE CALL CENTER PRIOR TO DOING ANY DIGGING 811.
 - ALL ROOF DRAINS SHALL BE DIRECTED TO STORM DRAIN SYSTEM.



NO.	REVISION	DATE
1.	PER TOWN COMMENTS	5/20/16
2.	PER TOWN COMMENTS	6/1/16
3.	PER TOWN COMMENTS	6/22/16
4.	PER TOWN COMMENTS	6/1/16
5.	PER TOWN COMMENTS	6/8/16

SP

STEWART-PROCTOR ENGINEERING AND SURVEYING 319 CHAMPAGNE ROAD RALEIGH, NC 27603 TEL 919 775-1555 FAX 919 775-1561		PRELIMINARY SITE PLAN FOR JOHNSON STREET SUBDIVISION	
DATE 4-22-16	SURVEYED BY	JOB	ST. MARY'S TOWNSHIP
SCALE 1"= 40'	DRAWN BY: JAT	DRG. NO.	TOWN OF GARNER
REVISIONS			OWNER
			ZONED: R-9
			P.J.N. 1711-57-4595



- NOTES:
1. LOCAL STREET SHALL BE IN 55' R/W
 2. GRADES SHALL NOT EXCEED 15%
 3. NORMAL CROWN OF 1/4" PER FOOT

REQUIRED OPEN SPACE

SITE DATA

CURRENT OWNER: MILDRED P. KELLY, REK P. KELLY, TR
SITE ADDRESS: 1300 W. GARNER ROAD
GARNER, NC

RM: 1711-25-0225 & 1711-25-1432

PANSEL AREA: 419.6 ACRES (30000)
RIGHT-OF-WAY DEDICATION AREA: 419.51 ACRES
NET SITE AREA: 419.51 ACRES

OPEN SPACE REQUIRED @ 15% = 62.93 ACRES
OPEN SPACE PROVIDED = 41.43 ACRES

ZONED: R-20
PROPOSED ZONING: R-20

BUILDING SETBACKS (F.T.):
FRONT: 25'
REAR: 25'
SIDE: 15' 20' (CORNER LOT)

BUILDING HEIGHT: 35 MAX

EXISTING IMPERVIOUS AREA: 4,678 SF
EXISTING IMPERVIOUS AREA IN R/W DEDICATION: 5,154 SF
TOTAL EXISTING IMPERVIOUS AREA: 5,154 SF

PROPOSED IMPERVIOUS AREA:
LOTS = 41 x 4,580 SF/LOT
ROADS / SIDEWALKS: 91,564 SF
OFF-SITE ROAD: 275,715 SF

PROPOSED IMPERVIOUS AREA PERCENTAGE: 32.7%

GENERAL NOTES

1. BOUNDARY AND TOPOGRAPHIC SURVEY HAVE NOT BEEN PERFORMED FOR SUBJECT PROPERTY. EXISTING UNDERGROUND STRUCTURES AND UTILITIES SHOWN ARE TAKEN FROM WAKE COUNTY GIS.
2. THE CONTRACTOR SHALL CONTACT NORTH CAROLINA ONE CALL AT 1-800-432-4949 AND THE CITY OF RALEIGH UTILITIES. THE CONTRACTOR SHALL CALL AT LEAST 48 HOURS PRIOR TO ANY DIGGING.
3. ALL CONSTRUCTION SHALL BE IN CONFORMANCE TO THE TOWN OF GARNER AND NCDDOT STANDARDS AND SPECIFICATIONS.
4. ALL WATER AND SANITARY SEWER INSTALLATION SHALL BE IN CONFORMANCE WITH THE CITY OF RALEIGH PUBLIC UTILITY DEPARTMENT STANDARDS AND SPECIFICATIONS.
5. THE SUBJECT PROPERTY IS NOT LOCATED IN A FLOOD HAZARD AREA FOR FEMA FIRM PANEL MAP NUMBER 372071101L DATED MAY 2, 2006.

SUBDIVISION NOTES

1. ALL PERMANENT AND TEMPORARY EXTERIOR SIGNAGE REQUIRES AN APPROVED SIGN PERMIT FROM THE TOWN OF GARNER PRIOR TO INSTALLATION.
2. TREE PROTECTION FENCING WILL BE REQUIRED ADJACENT TO ALL NON-DISTURBED PORTIONS OF THE NEIGHBORLY BUFFER. INSTALLATION OF FENCING WILL BE REQUIRED PRIOR TO GRADING. INDIVIDUAL BUILDING LOTS MAY BE REQUIRED TO INSTALL TREE PROTECTION FENCING PRIOR TO ISSUANCE OF A BUILDING PERMIT.
3. ALL COMMON OPEN SPACE SHALL BE PRIVATE AND OWNED AND MAINTAINED BY THE HOMEOWNERS' ASSOCIATION. CONTACT CHARLES PHILLIPS WITH WAKE COUNTY ENVIRONMENTAL HEALTH DIVISION AT 919-796-8789 FOR REVIEW AND APPROVAL OF THE SOIL EROSION AND SEDIMENTATION PLAN. APPROVAL OF THE PLAN BY WAKE COUNTY IS CONTINGENT ON A LETTER FROM THE TOWN OF GARNER STATING THAT THE REQUIRED TREE PROTECTION FENCING HAS BEEN INSTALLED, INSPECTED AND APPROVED BY THE PLANNING DEPARTMENT.
4. STREET NAME APPROVAL WILL BE REQUIRED AT CONSTRUCTION PLAN APPROVAL.
5. AT THE CONCLUSION OF THE PROJECT ALL STORMWATER CONTROL STRUCTURES (SCMS) INSTALLED ON SITE MUST BE CERTIFIED BY A DESIGN PROFESSIONAL AND THE TOWN OF GARNER ENGINEERING DEPARTMENT MUST RECEIVE ALL AS-BUILT DRAWINGS PRIOR TO RECEIVING A CERTIFICATE OF OCCUPANCY.
6. A MAINTENANCE PLAN WILL BE REQUIRED FOR ALL SCMS INSTALLED TO ACHIEVE NITROGEN LOADING AND ANIONIC FLOW ATTENUATING REQUIREMENTS. THIS MAINTENANCE PLAN IS REQUIRED TO BE ACCORDANCE AT THE WAKE COUNTY REGISTER OF DEEDS PRIOR TO RECEIVING A CERTIFICATE OF OCCUPANCY.
7. NO DISTURBANCE WITHIN THE NEIGHBORLY BUFFER UNTIL ALL IMPACT PERMITS ARE OBTAINED FROM NCDDOT AND/OR ACOE. COPIES OF IMPACT PERMITS ARE REQUIRED TO BE SUBMITTED TO THE TOWN PRIOR TO DISTURBANCE.
8. ROAD CONNECTION TO WEST GARNER ROAD WILL REQUIRE NCDDOT DRIVEWAY PERMIT AND ENCROACHMENT APPROVAL PRIOR TO START OF CONSTRUCTION. APPROVED NCDDOT SIGNAL PLANS WILL ALSO BE REQUIRED.
9. THE TOWN WILL BE RESPONSIBLE FOR PAYMENT OF MONTHLY COSTS FOR STREET LIGHTING AND THE DEVELOPER WILL BE RESPONSIBLE FOR ALL INITIAL FEES CHARGED WITH THE LIGHTING INSTALLATION. ALL INSTALLATION FEES ARE REQUIRED TO BE PAID UP FRONT AT THE TIME OF INSTALLATION.
10. CITY OF RALEIGH REQUIRES INFRASTRUCTURE PLAN APPROVAL PRIOR TO CONSTRUCTION.
11. AN ENGINEERED FIRE FLOW DATA REPORT SHALL BE SUBMITTED FOR REVIEW AND APPROVAL FOR THE SUBDIVISION IN ACCORDANCE WITH APPENDIX B PRIOR TO CONSTRUCTION PLAN APPROVAL.

PRELIMINARY
FOR REVIEW ONLY
NOT RELEASED
FOR CONSTRUCTION



NORTH

SCALE: 1" = 60'

PRELIMINARY SUBDIVISION PLANS
FOR KELLY'S CROSSING

PRELIMINARY SUBDIVISION PLAN
GARNER, NORTH CAROLINA

Date: 1/19/2016

Scale: 1" = 60'

Drawn: RJH

Checked: AJF

Project No: 139-01

Computer Draw Name: 139-01 prelim subdivision plan

Sheet No:

3

Of 7

DATE	REVISIONS	COMMENTS
1/19/2016	1	REVISED PER TOWN MEETING
1/19/2016	2	REVISED PER TOWN OF GARNER COMMENTS

CE GROUP

301 GLENWOOD AVE. 230
RALEIGH, NC 27603
PHONE: 919-367-8790
FAX: 919-322-0032

www.cegroupinc.com

License # C-1739

N/F
BALL RENTALS LLC
PIN: 1710470853
DB. 10907 PG. 1780
BM. 2005 PG. 1298

N/F
GFP PROPERTIES LLC
PIN: 1710472974
DB. 10712 PG. 2070
BM. 2001 PG. 161

N/F
WINGSWEPT PROPERTIES LLC
PIN: 1710475908
DB. 14380 PG. 861

N/F
LAWDALE TOWNE PROPERTY OWNERS ASSN INC
PIN: 1710477699
DB. 14329 PG. 1351
BM. 2005 PG. 773

PRIVATE OPEN SPACE MAINTAINED BY HOA (TYP)

WATER VALVE MOUNTING (TYP)

WATER MAIN MARKER (TYP)

N/F
BALL, DOUGLAS
PIN: 1710471422
DB. 13832 PG. 759

ATTENTION CONTRACTORS

The Construction Contractor responsible for the extension of water, sewer, and/or gas, as approved in these plans, is responsible for contacting the Public Utilities Department at (919) 996-4540 at least twenty-four hours prior to beginning any of their construction.

Failure to notify both City Departments in advance of beginning construction, will result in the issuance of monetary fines, and require reinstallation of any water or sewer facilities not inspected as a result of this notification failure.

Failure to call for inspection, install a Downstream Plug, have Permitted Plans on the Jobsite, or any other Violation of City of Raleigh Standards will result in a Fine and Possible Exclusion from future work in the City of Raleigh.

APPROXIMATE LOCATION OF EXISTING DAYCARE

N/F
BISHOP OF THE CHURCH OF JESUS CHRIST OF LATTER DAY SAINTS
PIN: 1710470178
DB. 2796 PG. 272

LOT 4
N/F
ZZK LLC
PIN: 1710463942
DB. 12373 PG. 75
BM. 1990 PG. 1316

WATER MANHOLE (TYP)

WATER VALVE (TYP)

CABLEVISION PEDESTAL

14" MAPLE GUM

ABANDONED EXISTING WATERLINE EASEMENT

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GRAPHIC SCALE

(IN FEET)

1 inch = 50 ft

SITE DATA

OWNER: RELIABILITY, LLC
1210 TRINITY ROAD, SUITE 102
RALEIGH, NC 27607

PIN NO: 171047-6517
SITE ADDRESS: HEATHER PARK DRIVE
GARNER, NC 27529

TOWNSHIP: 16-15 AC
EXISTING ZONING: MF-2
EXISTING USE: VACANT
PROPOSED USE: MULTI-FAMILY RESIDENTIAL

COORDINATES: STATE PLANE NAD 83 FEET NORTH CAROLINA 3200

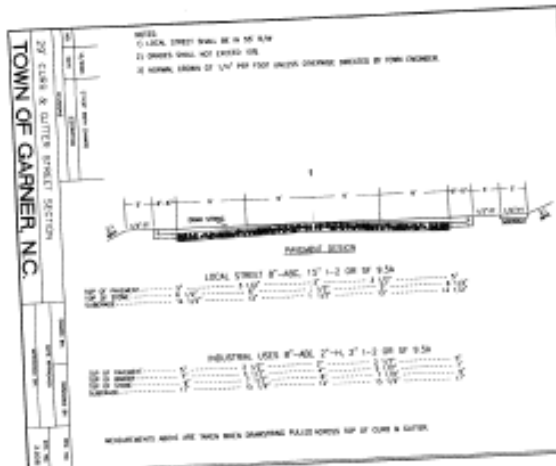
DENSITY CALCULATIONS:
TOTAL RESIDENTIAL PROPERTY AREA: 10.18 AC
TOTAL UNITS ALLOWED: 140
TOTAL UNITS PROVIDED: (80 UNITS/10.18 AC) = 7.85 UNITS/AC

OPEN SPACE CALCULATIONS:
OPEN SPACE REQUIRED (10% TOTAL): (10.18 AC * 0.1) = 1.02 AC
OPEN SPACE PROVIDED: 58,124 SF = 1.34 AC

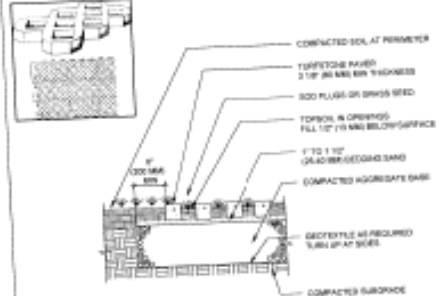
DISTURBED AREA: 10.7 AC
IMPERVIOUS SURFACE AREA: 4.96 AC
IMPERVIOUS SURFACE PERCENTAGE: (4.96 AC/10.18 AC) * 100 = 48.66%

BUILDING SETBACKS:
FRONT = 25' REAR = 25' SIDE = 15' CORNER SIDE = 25'

PARKING CALCULATIONS:
PARKING REQUIRED: (80 UNITS * 2.0 UNIT) = 160 + 20 VISIT = 180 SP
PARKING PROVIDED: 190 SP + MAIL KIOSK (2) = 192 SP



*ALL INTERIOR STREETS SHALL BE PUBLIC



NOTES:
1. DRIVE THROUGHT VARIES WITH TRAFFIC, CLIMATE AND SUBGRADE.
2. MINIMUM DRIVE THROUGHT: 10' TO 12' MIN. RESIDENTIAL DRIVEWAYS.
3. PERMANENTLY PAVED DRIVEWAYS.

CONCRETE GRID PAVERS-FIRELANE, DRIVEWAY & INTERMITTENT PARKING

SPAULDING &
NORRIS, PA
Design Consultants
972 Trinity Road
Raleigh, North Carolina 27607
Phone (919) 854-7990 Fax (919) 854-7925

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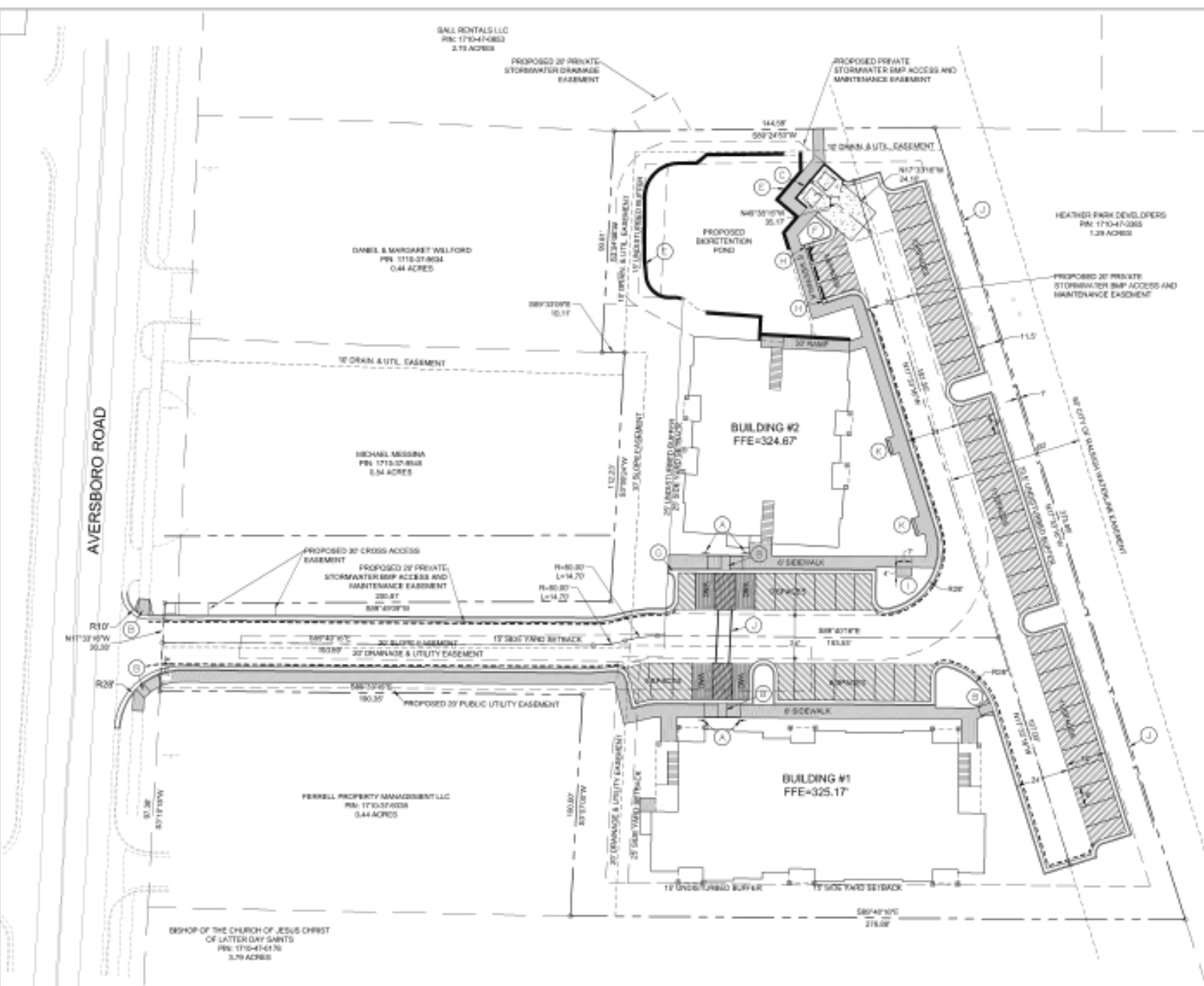
THE LANDING AT HEATHER PARK
GARNER, WAKE COUNTY, NORTH CAROLINA
CONSTRUCTION DRAWINGS
SITE PLAN

DRAWING SHEET

C-1.0

PROJECT NUMBER

772-13



SITE PLAN SUMMARY

1. DEVELOPMENT NAME:	LOFTS AT AVERSBO RO APARTMENTS
2. STREET ADDRESS:	8 AVERSBO ROAD, GARNER, NORTH CAROLINA 27839
3. PARCEL ID:	1710-41-1422
4. TOWN OF GARNER:	1710-41-1422
5. TOTAL SITE AREA:	1.08 ACRES
6. EXISTING ZONING DISTRICT:	NC-C
7. PROPOSED ZONING DISTRICT:	NC-C
8. PROPOSED NUMBER OF UNITS:	28
9. PROPOSED NUMBER OF OVERLAYS:	2
10. PROPOSED NUMBER OF OVERLAYS:	2
11. PROPOSED NUMBER OF OVERLAYS:	2
12. PROPOSED NUMBER OF OVERLAYS:	2
13. PROPOSED NUMBER OF OVERLAYS:	2
14. PROPOSED NUMBER OF OVERLAYS:	2

NEIGHBORING PROPERTIES

OWNER:	GAIL PROPERTIES
ADDRESS:	1401 AVERSBO ROAD, SUITE 208, GARNER, NC 27839
OWNER:	TIMMONS GROUP
ADDRESS:	1401 AVERSBO ROAD, SUITE 208, GARNER, NC 27839

VICINITY MAP

- ### KEY NOTES
- (A) ACCESSIBLE PARKING AND SIGNAGE, SEE DETAIL SHEET
 - (B) ACCESSIBLE WHEELCHAIR RAMP, SEE DETAIL SHEET
 - (C) DUMPSTER ENCLOSURE, SEE DETAIL SHEET
 - (D) CROSSLANE, SEE TRAFFIC CONTROL NOTES THIS SHEET
 - (E) 3 FT HEIGHT SEGMENTAL RETAINING WALL WITH FENCE ALONG TOP OF THE WALL, DESIGN BY OTHERS. NOTE COLOR OF WALL WILL BE GRAY TO MATCH COLOR OF PROP. BUILDINGS
 - (F) CONCRETE WHEEL STOP, SEE DETAIL SHEET
 - (G) CONCRETE FLARE, SEE DETAIL SHEET
 - (H) STANDARD METHOD END CURB AND GUTTER, SEE DETAIL SHEET
 - (I) 1/2" DIA. CONCRETE POSTS, SEE DETAIL SHEET
 - (J) 4" OPAQUE FENCE, BY OWNER
 - (K) PERMANENTLY ANCHORED, WEATHER RESISTANT BENCH WITH A BACK, OWNER TO COORDINATE MANUFACTURER AND COLOR SPECIFICS
 - (L) CONCRETE SIDEWALK, SEE DETAIL SHEET
 - (M) HEAVY-DUTY ASPHALT PAVEMENT, SEE DETAIL SHEET
 - (N) LIGHT-DUTY ASPHALT PAVEMENT, SEE DETAIL SHEET
 - (O) HEAVY-DUTY CONCRETE PAVEMENT, SEE DETAIL SHEET
 - (P) LIGHT-DUTY CONCRETE PAVEMENT, SEE DETAIL SHEET

- ### TRAFFIC CONTROL NOTES
- ALL SITE SIGNAGE SHALL BE IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AND NC DOT STANDARDS.

TYPE	MUTCD STD.	SIZE
ACCESSIBLE PARKING	11-11	12" X 12"
 - ALL SIGNS SHALL BE MOUNTED WITH 6 FT MIN. VERTICAL CLEARANCE TO THE BOTTOM OF THE SIGN ON 2" X 4" GALV. STEEL UCHAMBER POST SET IN 18" X 18" DEEP X 8" DIA. CONCRETE FOOTING. SIGNS MOUNTED ADJACENT TO SIDEWALKS MUST BE MOUNTED WITH 7 FT MIN. VERTICAL CLEARANCE TO THE BOTTOM OF SIGN.
 - ALL PAVEMENT MARKINGS SHALL BE IN ACCORDANCE WITH THE MUTCD AND NC DOT STANDARDS AND THE PROJECT SPECIFICATIONS.

MARKING	MUTCD STD.	SIZE	COLOR
PARKING SPACE	-	4" X 8"	WHIT.
NO PARKING - FIRE LANE	-	4" X 8"	WHIT.
CROSSLANE	1205.07	4" X 8"	WHIT.

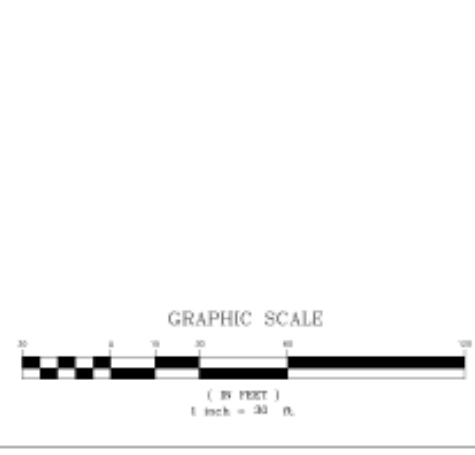
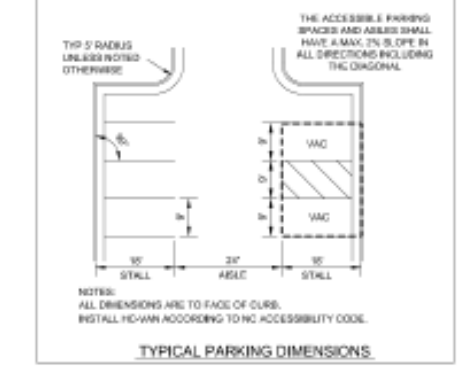
* NO PARKING - FIRE LANE MARKING SHALL CONSIST OF A 4" SOLID YELLOW STRIPE AND 6" HIGH YELLOW TEXT TWO PARKING - FIRE LANE AT 40' INTERVALS. STRIPING SHALL BE PLACED AS INDICATED BY THE FOLLOWING LINE TYPE.
 - ALL PAVEMENT MARKINGS SHALL BE REFINISH TYPE PAINT AS REQUIRED BY THE COUNTY.

- ### GENERAL NOTES
- ALL CURVE RADII ARE 5 FT AT FACE OF CURB, UNLESS OTHERWISE NOTED.
 - ALL PARKING SPACES SHALL BE 8' WIDE X 16' DEEP MIN.
 - VAC - VAN ACCESSIBLE PARKING SPACE.
 - ALL REQUIRED IMPROVEMENTS SHALL CONFORM TO ALL TOWN OF GARNER STANDARDS AND SPECIFICATIONS.
 - SOLID WASTE DUMPSTER AREAS WILL BE SCREENED WITH MATERIALS CONSISTENT WITH THE EXTERIOR MATERIALS OF THE PROPOSED STRUCTURES.
 - ALL HVAC AND MECHANICAL EQUIPMENT WILL BE GROUND MOUNTED AND SHALL BE SCREENED FROM PUBLIC VIEW. REFER TO PLANTING PLAN ADDITIONAL INFORMATION.
 - ALL CURBING SHALL BE 3" STANDARD CURB AND GUTTER, SEE DETAIL SHEET.
 - ALL SIDEWALKS SHALL BE 6' WIDE IN WIDTH, UNLESS OTHERWISE NOTED.
 - CONTACT TOWN OF GARNER ENGINEERING DEPARTMENT AT 919-773-4425 OR engineering@garnernc.gov TO SCHEDULE A PRECONSTRUCTION MEETING PRIOR TO OBTAINING BUILDING PERMITS FOR THIS PLAN.



SITE DATA

PROJECT:	GAIL APARTMENTS
ENGINEER:	KETH ROBERTS, PE TIMMONS GROUP 5401 TRIMITY RD, SUITE 102 DALLAS, TX 75244 972-886-1880 KETH.ROBERTS@TIMMONSGROUP.COM
OWNER:	GAIL PROPERTIES 1401 AVERSBO ROAD, SUITE 208 GARNER, NC 27839
PROJECT ADDRESS:	8 AVERSBO ROAD
TRACT AREA:	1.08 ACRES
PERM:	1710-41-1422
SETBACKS:	FRONT: 35' SIDE: 15' REAR: 25'
EXISTING ZONING:	NC-C
PROPOSED ZONING:	NC-C
CURRENT USE:	VACANT
PROPOSED LAND USE:	APARTMENTS
PROPOSED BUILDING FOOT:	3-3000 / 3-3000 = 6,000 SF PER FLOOR 2-3000 / 3-3000 = 6,000 SF PER FLOOR TOTAL: 12,000 SF PER FLOOR (2 STORIES)
REFERENCE:	DB 13632 PG 700
DISTURBED AREA:	1.08 ACRES
RIVER BASIN:	HEUSE
WATER SHED:	SWIFT CREEK
IMPERVIOUS SURFACE AREAS:	EXISTING: 0 ACRES PROPOSED: 1.08 ACRES (100%)
OPEN SPACE REQUIRED (10%):	0.108 ACRES
PROPOSED:	0.108 ACRES
PARKING REQUIREMENTS:	PROPOSED:
2 BEDROOM UNITS (2 PER UNIT):	16
3 BEDROOM UNITS (2 PER UNIT):	40
ADDITIONAL SPACES (1 PER 4 UNITS):	7
TOTAL PARKING REQUIRED:	63
TOTAL PARKING PROVIDED:	63
ACCESSIBLE PARKING REQUIRED:	3
ACCESSIBLE PARKING PROVIDED:	4



TIMMONS GROUP

NORTH CAROLINA LICENSE NO. C-1652

LOFTS AT AVERSBO APARTMENTS

WAKE COUNTY, GARNER, NC

SITE STAKING PLAN

THIS DRAWING PREPARED AT THE
BALEIGH OFFICE
5415 Trinity Road, Suite 102 | Garner, NC 27837
TEL: 919-886-1881 FAX: 919-886-1882 www.timmons.com

YOUR VISION ACHIEVED THROUGH OURS.

DATE: 03/15/2016
DATE: 04/11/2016
DATE: 04/25/2016

DATE: 03/27/2016

DRAWN BY: T. GARNERSON

DESIGNED BY: T. GARNERSON

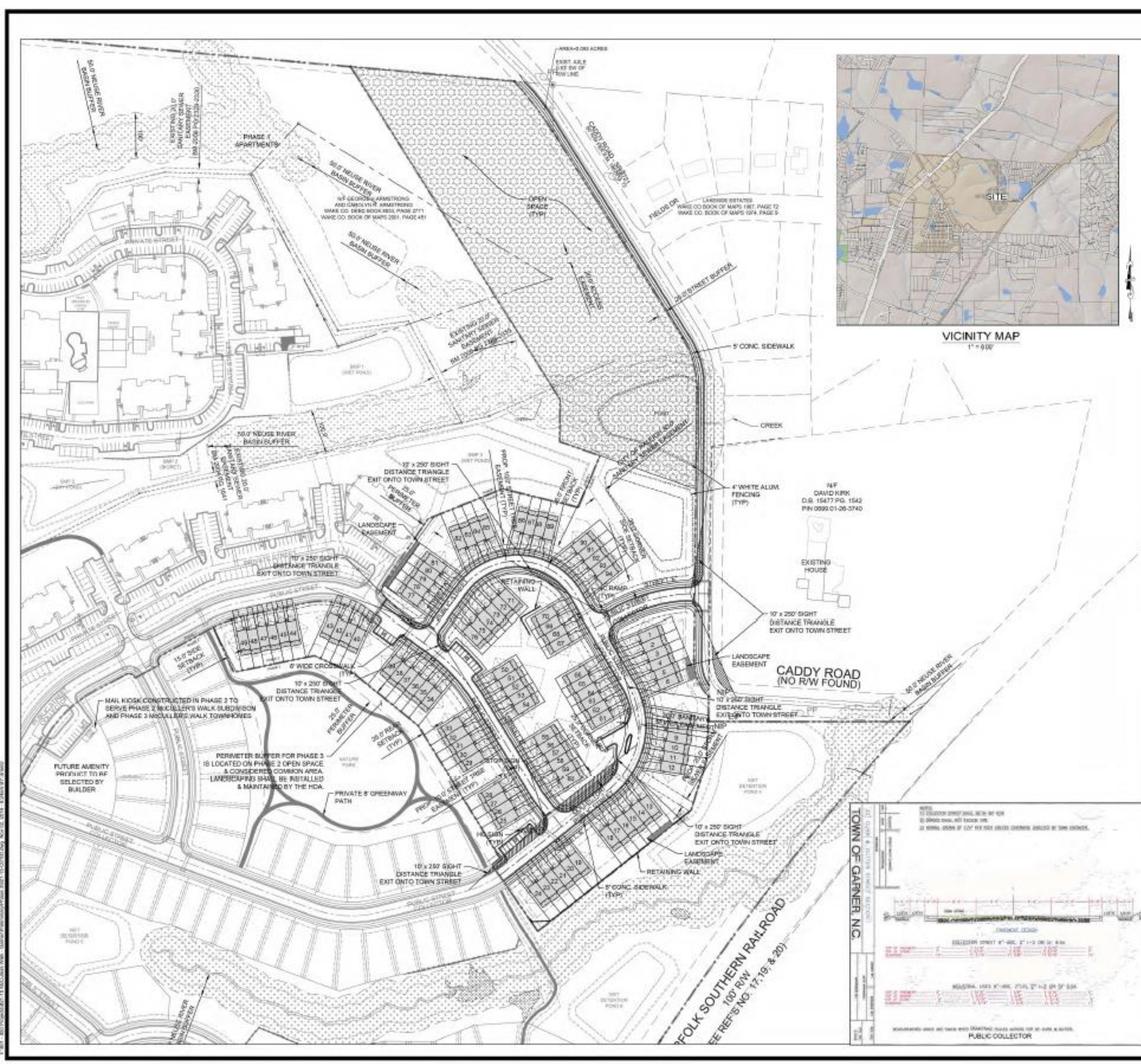
CHECKED BY: K. ROBERTS

SCALE: PER PLAN

JOB NO.: 40629

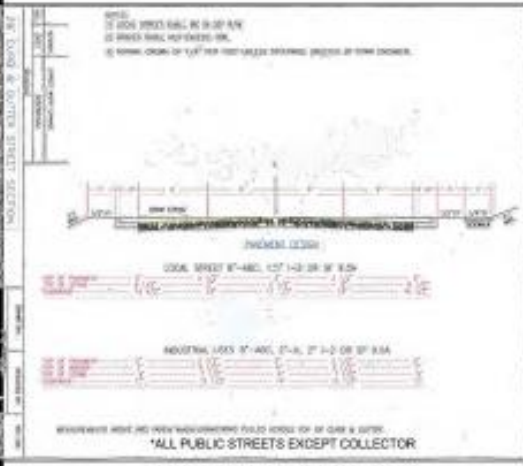
SHEET NO.: C2.01

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 2. BOUNDARY AND PARTIAL EXISTING TOPOGRAPHICAL INFORMATION SHOWN WITHIN BOUNDARY ARE PROVIDED BY GARTH HOBBS, ACCESS & PAVEMENT, INC.
 3. PARTIAL EXISTING TOPOGRAPHICAL INFORMATION SHOWN IS BASED ON INFORMATION PROVIDED BY WALK COUNTY GIS.
 4. THE CONTRACTOR SHALL CONTACT "NORTH CAROLINA ONE CALL" AT 800-433-8888 FOR ASSISTANCE IN LOCATING EXISTING UTILITIES. CALL AT LEAST 48 HOURS PRIOR TO ANY DIGGING.
 5. THE CONTRACTOR SHALL FIELD VERIFY CONDITIONS PRIOR TO STARTING CONSTRUCTION AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES. CONDITIONS INVOLVING PUBLIC WATER, SEWER, GAS, AND STORM DRAINAGE CONSTRUCTION SHALL BE RESOLVED TO THE SATISFACTION OF THE TOWN OF GARNER.
 6. ALL CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH THE TOWN OF GARNER, CITY OF RALEIGH AND LOCAL ORDINANCES AND SPECIFICATIONS.
 7. MAIL KIOSK BUILDING FOOTPRINT PROVIDED BY J. DAVIS ARCHITECTS. SINGLE FAMILY FOOTPRINTS PROVIDED BY RYAN HOMES.
 8. HIC RUMPS AND PARKING SPACES SHALL BE CONSTRUCTED IN ACCORDANCE WITH ADA STANDARDS.
 9. THE CONTRACTOR IS RESPONSIBLE FOR INVESTIGATING SOIL CONDITIONS ON SITE. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY OF ANY UNSUITABLE MATERIAL UPON FIRST CONTACT.
 10. ALL PERMANENT AND TEMPORARY EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO INSTALLATION. EROSION IS A SEPARATE SUBMITTAL, REVIEW, AND APPROVAL PROCESS BY THE PLANNING DEPARTMENT. SIGNAGE FOR THIS SITE MUST COMPLY WITH THE TOWN OF GARNER.
 11. CONTACT JUSTIN SPRENGEL, TOWN OF GARNER, ENGINEERING DEPARTMENT AT 919-773-4558 FOR SCHEDULING MEETINGS. A PRE-CONSTRUCTION MEETING PRIOR TO OBTAINING BUILDING PERMITS FOR THIS PLAN.
 12. ALL WATER AND SANITARY SEWERS ON THIS SITE SHALL BE PUBLIC.
 13. OPEN SPACE SHALL BE OWNED AND MAINTAINED BY THE HOMEOWNERS ASSOCIATION.
 14. MAIL KIOSK IN PHASE 2 SUBDIVISION SHALL ALSO SERVE PHASE 2 TOWNHOMES.
 15. 20' PERIMETER BUFFER FOR PHASE 3 THAT IS LOCATED ON PHASE 2 TOWNHOMES SHALL BE CONSIDERED OPEN SPACE COMMON AREA. LANDSCAPING SHALL BE INSTALLED & MAINTAINED BY THE HOMEOWNERS ASSOCIATION.

SITE DATA			
TOWN OF GARNER	REV. 08/08/2017	TOWNSHIP	PLAUGHTER BRANCH
TOTAL SITE: 108.16 AC	(RESIDENTIAL)	COUNTY	WAKE
PHASE 1: 19.40 AC		STATE	NORTH CAROLINA
PHASE 2: 19.40 AC			
PHASE 3: 69.36 AC			
DENSITY CALCULATIONS			
TOTAL RESIDENTIAL PROPERTY AREA = 108.16 AC			
OVERALL RESIDENTIAL DENSITY ALLOWED: 8 UNITS PER ACRE			
PHASE 1 RESIDENTIAL DENSITY: 8 UNITS PER ACRE (19.40 AC x 8 UNITS/AC = 155.2 UNITS)			
PHASE 2 RESIDENTIAL DENSITY: 8 UNITS PER ACRE (19.40 AC x 8 UNITS/AC = 155.2 UNITS)			
PHASE 3 RESIDENTIAL DENSITY: 8 UNITS PER ACRE (69.36 AC x 8 UNITS/AC = 554.88 UNITS)			
OPEN SPACE CALCULATIONS			
OPEN SPACE REQUIRED: 1.10 AC (10.00% OF 108.16 AC)			
TOTAL OPEN SPACE PROVIDED: 6.72 AC (6.22 AC/10.00% = 62.20%)			
MINIMUM OPEN SPACE: 6.72 AC			
CALCULATED PARKING REQUIRED: 34 SPACES			
1 SPACE/2 UNITS (34 UNITS/2 = 17 SPACES)			
ON-STREET PARKING PROVIDED: 34 SPACES			
LOT DETAILS			
FRONT: 25'			
REAR: 25'			
SIDE: 15'			
CORNER: 25'			



GRAPHIC SCALE

1 inch = 100 feet

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SPaulding & NORRIS, PA
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972 Trinity Road
Raleigh, North Carolina 27607
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S&N

MCCULLER'S WALK TOWNHOMES
GARNER, WAKE COUNTY, NORTH CAROLINA
PRELIMINARY PLANS
OVERALL SITE PLAN

DRAWING SHEET
C-1.0
PROJECT NUMBER
821-15

McCULLER'S WALK APARTMENTS

PRELIMINARY PLANS

GARNER, WAKE COUNTY, NORTH CAROLINA
TOWN OF GARNER

APPROVED WITH CONDITIONS
DATE: 7/14/16
BY: [Signature]
TITLE: [Signature]

NO.	REVISION	DATE

- GENERAL NOTES**
- BOUNDARY PROVIDED BY GEORGE FINCHONEY AND ASSOCIATES, P.A.
 - BOUNDARY AND PARTIAL EXISTING TOPOGRAPHICAL INFORMATION SHOWN WITHIN BOUNDARY ARE PROVIDED BY CANTHON, HESS & FINCHONEY, P.C.
 - PARTIAL EXISTING TOPOGRAPHICAL INFORMATION SHOWN IS BASED ON INFORMATION PROVIDED BY WAKE COUNTY GIS.
 - THE CONTRACTOR SHALL CONTACT "NORTH CAROLINA ONE CALL" AT 800-488-4849 FOR ASSISTANCE IN LOCATING EXISTING UTILITIES. CALL AT LEAST 48 HOURS PRIOR TO ANY DIGGING.
 - THE CONTRACTOR SHALL FIELD VERIFY CONDITIONS PRIOR TO STARTING CONSTRUCTION AND NOTIFY THE ENGINEER IMMEDIATELY OF ANY UNSUITABLE MATERIAL, UNDESIRABLE WATER, SANITARY SEWER, AND STORM DRAINAGE CONSTRUCTION SHALL BE RESOLVED TO THE SATISFACTION OF THE TOWN OF GARNER.
 - ALL CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH THE TOWN OF GARNER, CITY OF RALEIGH, AND NCEOT STANDARDS AND SPECIFICATIONS.
 - BUILDING FOOTPRINT PROVIDED BY J. DAVIS ARCHITECTS.
 - NO MAPS AND PARKING SPACES SHALL BE CONSTRUCTED IN ACCORDANCE WITH NCEOT STANDARDS.
 - THE CONTRACTOR IS RESPONSIBLE FOR INVESTIGATING SOIL CONDITIONS ON SITE. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY OF ANY UNSUITABLE MATERIAL UPON FIRST CONTACT.
 - ALL PERMANENT AND TEMPORARY SIGNAGE REQUIRES AN APPROVED SIGN PERMIT PRIOR TO INSTALLATION. SIGNAGE IS A SEPARATE SUBMITTAL. REVIEW AND APPROVAL PROCESS BY THE PLANNING DEPARTMENT. SIGNAGE FOR THIS SITE MUST COMPLY WITH THE TOWN OF GARNER.
 - CONTACT JUSTIN HASSONELL, TOWN OF GARNER, ENGINEERING DEPARTMENT AT 919-720-4558 OR jhassonell@garner.gov TO SCHEDULE A PRE-CONSTRUCTION MEETING PRIOR TO OBTAINING BUILDING PERMITS FOR THIS PLAN.
 - CONSTRUCTION TRAILER WILL BE REQUIRED TO GO THROUGH SEPARATE TEMPORARY USE PERMIT PRIOR TO BEING PLACED ON SITE.
 - PERMANENT AND TEMPORARY SIGNAGE REQUIRES AN APPROVED SIGN PERMIT PRIOR TO INSTALLATION. SIGNAGE IS A SEPARATE SUBMITTAL. REVIEW AND APPROVAL PROCESS BY THE PLANNING DEPARTMENT.
 - THE OWNER OF THE APARTMENT COMPLEX SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF THE LANDSCAPE MEDIAN WITHIN THE PUBLIC STREET OFF FAYETTEVILLE ROAD LEADING TO THE APARTMENTS.

DEVELOPER:
TEN TEN WFLP
2880 LINDEN LANE, SUITE 200
DUBLIN, VIRGINIA 22029-1588
CONTACT: MICHAEL WILLIAMS, email: mwilliams@tenbuildinggroup.com

ENGINEER:
SPAULDING & NORRIS, P.A.
572 TRINITY ROAD
RALEIGH, NORTH CAROLINA 27607
PHONE: (919) 854-7998
FAX: (919) 854-7925
CONTACT: THOMAS J. SPAULDING, P.E., email: tom@spaullingnorris.com

LANDSCAPE ARCHITECT:
TERRY B. LITTLE LANDSCAPE ARCHITECTURE, P.A.
5111 SOUTH PARK DRIVE, SUITE 300
DURHAM, NC 27713
PHONE: (919) 454-8888
FAX: (919) 454-8881
CONTACT: PAMELA PORTER, P.L.A., email: pam@tbla.com

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3808 FARMGROVE PLACE, SUITE 100
RALEIGH, NC 27609
PHONE: (919) 872-5115
FAX: (919) 872-5416
CONTACT: KIMBLE G. STERNBERG, P.E., email: ksternberg@kempkemp.com

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PHONE: (919) 833-1512
FAX: (919) 833-3333
CONTACT: JERRY JOHNSON

SURVEY:
CANTHON, HESS & FINCHONEY, P.C.
303 S. WHITE STREET
WAKE FOREST, NORTH CAROLINA 27607
PHONE: (919) 556-3148
FAX: (919) 556-1370
CONTACT: WAKE HESS, email: mikes@cmhga.com

ARCHITECT:
J. DAVIS ARCHITECTS
510 S. WILMINGTON STREET
RALEIGH, NC 27601
PHONE: (919) 833-1582

SITE DATA

TOWN OF GARNER
TOTAL SITE: 96.83 AC
PHASE 1: 44.13 AC
ZONING: R-48 (SHE C-6.1)

DENSITY CALCULATIONS
TOTAL RESIDENTIAL PROPORTY AREA = 44.13 AC
OVERALL RESIDENTIAL DENSITY ALLOWED: 6 UNITS (UNITS/ACR)
PHASE 1 RESIDENTIAL DENSITY SHOWN: 412 UNITS (412 UNITS/44.13 AC = 9.33 UNITS/ACR)
PHASE 2 RESIDENTIAL DENSITY SHOWN: 34 UNITS (34 UNITS/54 UNITS/54 AC = 0.63 UNITS/ACR)
PHASE 3 RESIDENTIAL DENSITY SHOWN: 34 UNITS (34 UNITS/54 UNITS/54 AC = 0.63 UNITS/ACR)

OPEN SPACE CALCULATIONS
OPEN SPACE REQUIRED = 4.41 AC (44.13 AC x 10%)
TOTAL OPEN SPACE PROVIDED = 17.68 AC (44.13 AC x 40%)

APARTMENT COUNT TYPES
TOTAL APARTMENTS BUILT/SHOWN = 21
TYPE 1 = (8 BLDGS) * 24 APTS = 192 APTS
TYPE 2 = (4 BLDGS) * 12 APTS = 48 APTS
TYPE 3 = (2 BLDGS) * 24 APTS = 48 APTS
TYPE 4 = (2 BLDGS) * 12 APTS = 24 APTS
TYPE 5 = (2 BLDGS) * 24 APTS = 48 APTS
TYPE 6 = (2 BLDGS) * 12 APTS = 24 APTS

TOTAL APARTMENTS = 412

ON-STREET PARKING REQUIRED: 738 SPACES
PER 1 BEDROOM = 308 SPACES (1.3)
PER 2 BEDROOM = 343 (1.07 BEDS * 3)
PER 3 BEDROOM = 90 (0.88 BEDS * 2.5)

HC PARKING REQUIRED: 34 SPACES
1 SPACE/2 PARK SPOTS (738/21.05)
HC VAN ACCESSIBLE REQUIRED: 5 SPACES
34 SPACES/8

GUEST PARKING REQUIRED: 183 SPACES
1 SPACE/4 APARTMENT UNITS (412/2.25)

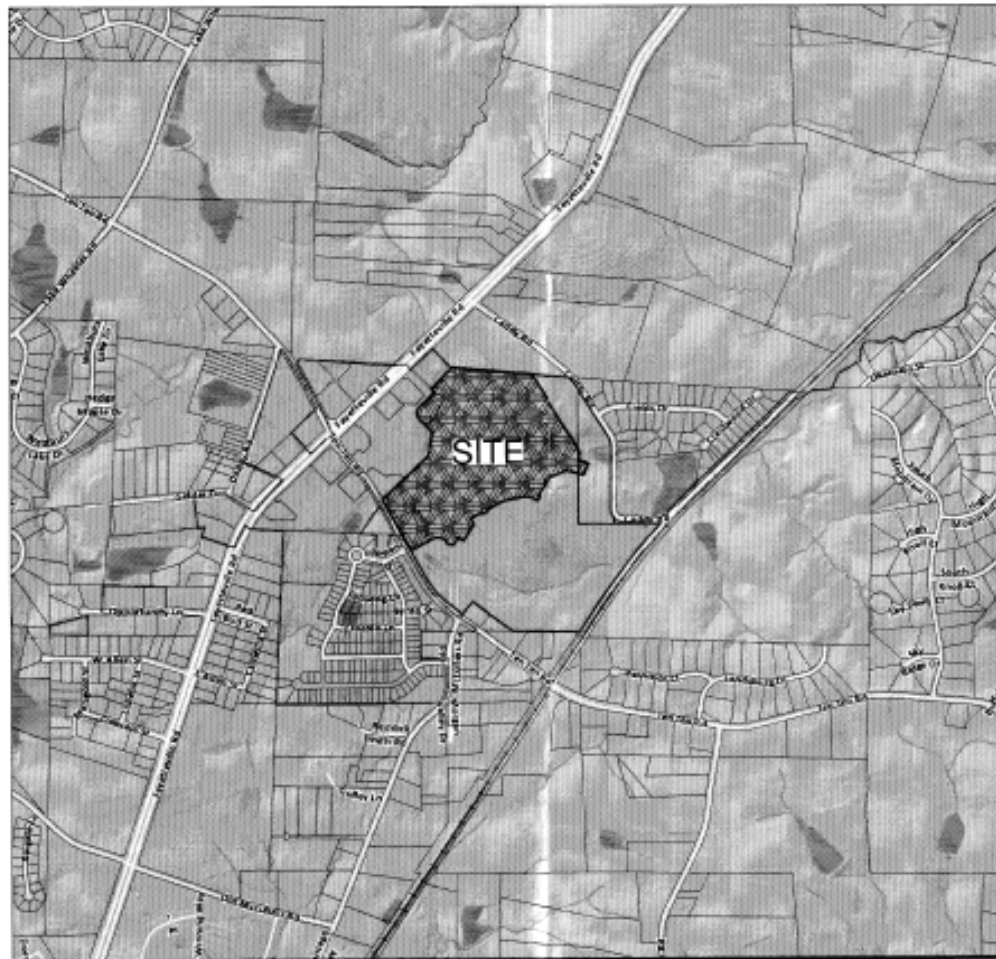
CLUBHOUSE PARKING REQUIRED: 64 SPACES
CLUBHOUSE = 32 (2025 SF/3.5'X100' SP)
INDOOR POOL = 11 (1050 SF OF POOL SURFACE/10'X100' SP)
OUTDOOR POOL = 22 (2100 SF OF POOL SURFACE/10'X100' SP)

TOTAL PARKING REQUIRED: 986 SPACES (738+183+64)

ON-STREET PARKING PROVIDED: 611 SPACES
HC PARKING PROVIDED: 33 SPACES
HC VAN ACCESSIBLE PROVIDED: 5 SPACES

GARAGE SPACES PROVIDED: 97 SPACES
4-CAR GARAGE = 34 (4 SPACES * 8 GARAGES)
3-CAR GARAGE = 5 (3 SPACES * 1 GARAGE)
2-CAR GARAGE = 54 (6 SPACES * 9 GARAGES)
1-CAR GARAGE = 14 (7 SPACES * 2 GARAGES)

TOTAL PARKING PROVIDED: 708 SPACES (611+33+5)



VICINITY MAP

1" = 800'

- NOTES**
- PRIOR TO REVIEW BY TOWN COUNCIL, THE UTILITY PLAN SHALL BE REVISED TO REFLECT THE FIRE HYDRANT LOCATIONS AS REQUIRED BY THE FIRE INSPECTOR.
 - PRIOR TO REVIEW BY TOWN COUNCIL, THE PLANS SHALL BE REVISED TO ACCURATELY REFLECT OPEN SPACE AND MAKE CHANGES TO THE DATA TABLE AS NEEDED.
 - PRIOR TO CONSTRUCTION DRAWING APPROVAL, THE DOWNSTREAM SEWER PUMP STATION UPGRADES SHALL BE APPROVED BY THE CITY OF RALEIGH.
 - THE DEVELOPER SHALL BE RESPONSIBLE FOR ANY ADDITIONAL ROAD IMPROVEMENTS REQUIRED BY NCEOT.
 - THE DEVELOPER IS REQUIRED TO DEDICATE THE STREET BETWEEN FAYETTEVILLE ROAD (401) AND THE PROPOSED APARTMENTS TO THE TOWN OF GARNER AND SUCH. THE DEVELOPER SHALL BE RESPONSIBLE FOR IMPROVEMENTS AS REQUIRED BY THE ENGINEERING DEPARTMENT TO ACCEPT IT AS A PUBLIC STREET.

ATTENTION CONTRACTORS

The Construction Contractor responsible for the extension of water, sewer, and/or reuse, as approved in these plans, is responsible for contacting the Public Utilities Department at (919) 956-4540 at least twenty-four hours prior to beginning any of their construction.

Failure to notify both City Departments in advance of beginning construction, will result in the issuance of a cease and desist order, and require reinstallation of any water or sewer facilities not inspected as a result of this notification failure.

Failure to call for inspection, install a Downstream Plug, have Permitted Plans on the Jobsite, or any other Violation of City of Raleigh Standards will result in a Fine and Possible Exclusion from future work in the City of Raleigh.

SEWER FLOWS

RESIDENTIAL SEWER
(250 GPD/UNIT) x 412 UNITS
= 103,000 GPD

IRRIGATION
2,500 GPD
= 2,500 GPD

TOTAL
= 105,500 GPD

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THE PRELIMINARY APPROVAL PROCESS

INDEX TO PLANS

- C-0.0 COVER SHEET
- C-0.1 EXISTING CONDITIONS
- C-0.2 MASTER PLAN
- C-1.0 OVERALL SITE PLAN
- C-1.1 SITE PLAN
- C-1.2 SITE PLAN
- C-1.3 SITE PLAN
- C-1.4 SITE PLAN
- C-2.0 OVERALL UTILITY PLAN
- C-2.1 UTILITY PLAN
- C-2.2 UTILITY PLAN
- C-2.3 UTILITY PLAN
- C-2.4 UTILITY PLAN
- C-3.0 OVERALL STORMWATER MANAGEMENT PLAN
- C-3.1 STORMWATER MANAGEMENT
- C-3.2 STORMWATER MANAGEMENT
- C-3.3 STORMWATER MANAGEMENT
- C-3.4 STORMWATER MANAGEMENT
- C-5.1 US 401 ROAD IMPROVEMENTS
- C-5.2 US 401 ROAD IMPROVEMENTS
- C-5.3 TEN TEN ROAD WIDENING IMPROVEMENTS
- C-5.4 TEN TEN ROAD WIDENING IMPROVEMENTS
- L-1.0 LANDSCAPE PLAN
- L-2.0 LANDSCAPE PLAN
- L-3.0 LANDSCAPE PLAN
- L-4.0 LANDSCAPE PLAN
- E-1.1 LIGHTING PLAN - NORTH SECTION
- E-1.2 LIGHTING PLAN - SOUTHWEST SECTION
- E-1.3 LIGHTING PLAN - SOUTHEAST SECTION
- D-1.0 SITE DETAILS
- D-2.0 BMP DETAILS
- A-0.0 ARCHITECTURAL ELEVATIONS

6-2-16
Sup SP-16-04

City of Raleigh
Public Utilities Department
DATE: 7/14/16
BY: [Signature]

NOT
APPROVED
FOR
CONSTRUCTION

Public Water Distribution / Extension System

The City of Raleigh consents to the connection and extension of the City's public water system as shown on this plan. The material and construction methods used for this project shall conform to the standards and specifications of the City's Public Utilities Handbook. City of Raleigh
Public Utilities Department Permit # _____
Authorization to Construct _____
Date _____

Public Sewer Collection / Extension System

The City of Raleigh consents to the connection and extension of the City's public sewer system as shown on this plan. The material and construction methods used for this project shall conform to the standards and specifications of the City's Public Utilities Handbook. City of Raleigh
Public Utilities Department Permit # _____
Authorization to Construct _____
Date _____

McCULLER'S WALK APARTMENTS
GARNER, WAKE COUNTY, NORTH CAROLINA
PRELIMINARY PLANS
COVER SHEET

DRAWING
SHEET
C-0.0

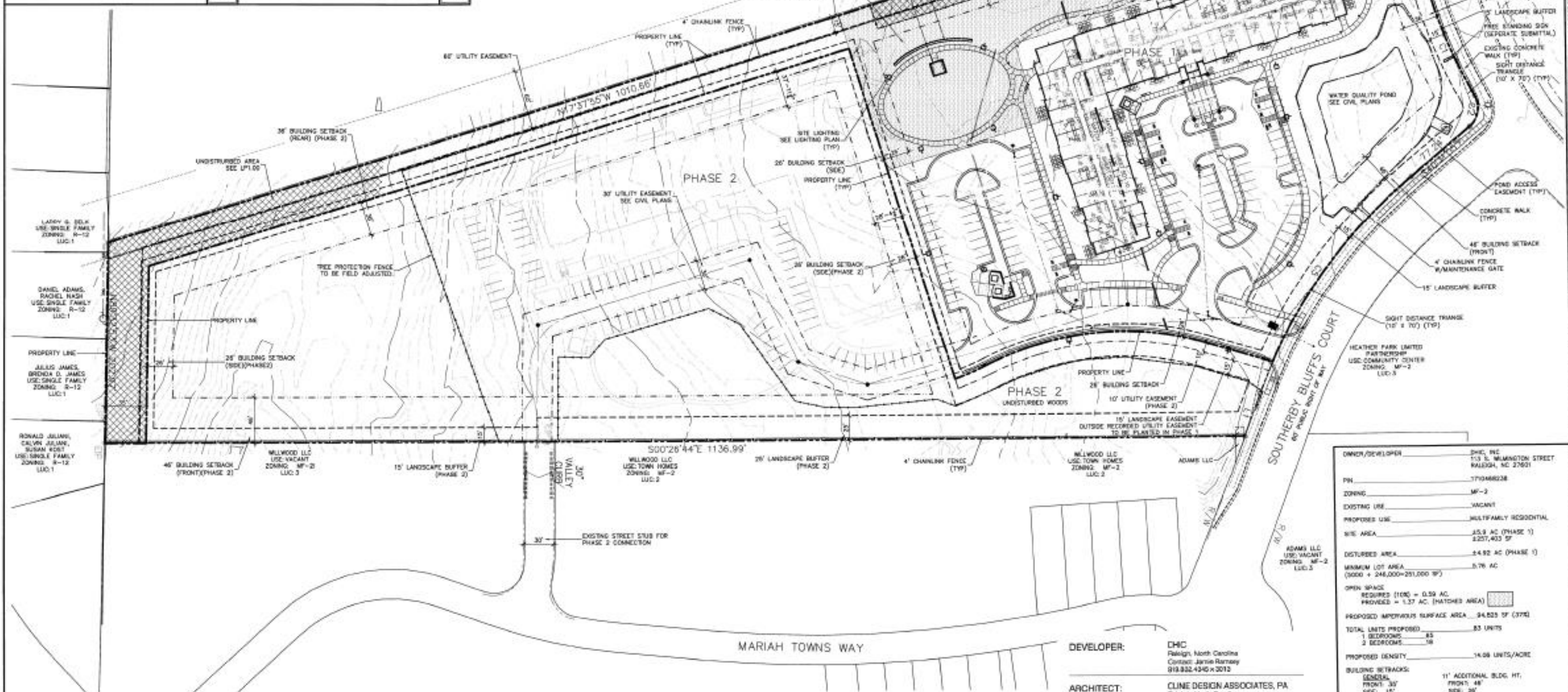
PROJECT NUMBER
821-15



VICINITY MAP 04

1. CONTACT THE NORTH CAROLINA ONE CALL CENTER PRIOR TO DIGGING 1-800-432-4849
2. ALL ROOF DRAINS SHALL BE DIRECTED TO STORM DRAINAGE SYSTEM
3. PLEASE CONTACT JUSTIN MASSEVELL AT 919-773-4489 OR jmassevel@clinedesign.com TO SCHEDULE A PRE-CONSTRUCTION MEETING PRIOR TO OBTAINING BUILDING PERMITS FOR THIS PLAN. ALL CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH THE CURRENT TOWN OF GARNER AND THE STATE OF NORTH CAROLINA STANDARDS.
4. PRIOR TO ANY CLEARING, GRADING OR CONSTRUCTION ACTIVITY, TREE PROTECTION FENCING WILL BE INSTALLED AROUND PROTECTED TREES OR GROVES OF TREES AND NO CONSTRUCTION WORKING, TOOLS, MATERIALS, OR VEHICLES ARE PERMITTED WITHIN THE TREE PROTECTION FENCING.
5. ALL PAVEMENT MARKINGS IN PUBLIC RIGHTS-OF-WAY AND FOR DRIVEWAYS ARE TO BE THERMOPLASTIC AND MEET CITY AND/OR NC DOT STANDARDS.
6. TRAFFIC CONTROL DEVICES (INCLUDING SIGNS AND PAVEMENT MARKINGS) IN AREAS OPEN TO PUBLIC ARE TO MEET MAINT (MANUAL OR UNIFORM TRAFFIC CONTROL DEVICES STANDARDS).
7. ANY BROKEN OR MISSING SIDEWALK PANELS, DRIVEWAY PANELS AND CURBS WILL BE REPLACED.
8. NOTES TO LANDSCAPING PLAN FOR LOCATION OF STREET TREES AND ADDITIONAL NOTES.
9. DIMENSIONS ARE FROM BACK OF CURB UNLESS OTHERWISE NOTED.
10. ALL PARKING STALL MARKINGS AND LANE ARROWS WITHIN THE PARKING AREAS SHALL BE WHITE.
11. PERMANENT AND TEMPORARY SIGNAGE REQUIRES AN APPROVED SIGN PERMIT PRIOR TO INSTALLATION. SIGNAGE REQUIRES A SEPARATE SUBMITTAL, REVIEW AND APPROVAL PROCESS BY THE PLANNING DEPARTMENT.

NOTES 03



DEVELOPER: DHC, INC.
Raleigh, North Carolina
Contact: Janice Ramsey
919.832.4345 x 3012

ARCHITECT: CLINE DESIGN ASSOCIATES, PA
Raleigh, North Carolina
Contact: Jason Little, AIA
919.833.6413 x 157

LANDSCAPE: CLINE DESIGN ASSOCIATES, PA
Raleigh, North Carolina
Contact: Chris Tingle, PLA
919.833.6413 x 130

CIVIL: ENK, Inc.
Raleigh, North Carolina
Contact: Robbin Bell, PE
919.851.4422

OWNER/DEVELOPER	DHC, INC.
PH	370468238
ZONING	MF-2
EXISTING USE	VACANT
PROPOSED USE	MULTIFAMILY RESIDENTIAL
SITE AREA	25.9 AC (PHASE 1) 2,227,403 SF
DISTURBED AREA	2.492 AC (PHASE 1)
MINIMUM LOT AREA	5.76 AC (3000 + 246,000 ÷ 251,000 SF)
OPEN SPACE	REQUIRED (10%) = 0.59 AC PROVIDED = 1.37 AC (HATCHED AREA)
PROPOSED IMPROVED SURFACE AREA	94,825 SF (37%)
TOTAL UNITS PROPOSED	83 UNITS
PROPOSED DENSITY	14.08 UNITS/ACRE
BUILDING SETBACKS:	
GENERAL	11' ADDITIONAL BLDG. HT.
FRONT: 30'	FRONT: 48'
SIDE: 15'	SIDE: 30'
REAR: 25'	REAR: 30'
CORNER SIDE: 25'	CORNER SIDE: 30'
BUILDING HEIGHT	35' MAXIMUM
BUILDING HEIGHT PROPOSED	45'
BUILDING GRASS SQUARE FEET	20,000 SF
PARKING	
REQUIRED PARKING	83 SPACES
(1.0 SPACE PER UNIT X 83 UNITS)	
PROVIDED PARKING	90 SPACES
ACCESSIBLE PARKING REQUIRED	12 SPACES
TYPE A: 10 (10 X 1 SPACE=10)	
TYPE B: 73 (73 X 26 = 1,898 SQ FT)	
ACCESSIBLE PARKING PROVIDED	12 SPACES
SURFACE REGULAR	10
SURFACE VAN	2 (1 SPACE PER 8 SPACES)

OVERALL SITE PLAN 02

SITE DATA 01



125 N. Hargett Street
Raleigh, NC 27603
919/833-6413
919/836-1280 FAX
ClineDesignAssoc.com

DHC
Pennington Grove
Garner, North Carolina

Permit / Pricing
Set

PROJECT: 015008
DATE: 08.19.2016
REVISIONS: DATE

DRAWN BY: CT
CHECKED BY: JON/MHL
OVERALL
SITE PLAN

SD1.00

SHEET	PREAKNESS PLACE
C2.0	601 NEW RAND ROAD
TOWN OF GARNER, HARRIS COUNTY, NORTH CAROLINA	
PRELIMINARY PLANS - NOT FOR CONSTRUCTION OR BID SOLICITATION	



DEVELOPMENT STANDARDS

A. BUILDING SETBACKS TO ADJACENT PROPERTIES

Zone	Front	Side	Back
T1	10'	5'	10'
T3	10'	5'	10'
T4-R	10'	5'	10'
T4-O	10'	5'	10'
T5	10'	5'	10'

B. MAX. BUILDING HEIGHT

Zone	Max. Height
T1	10'
T3	10'
T4-R	10'
T4-O	10'
T5	10'

C. MINIMUM LOT WIDTH

Zone	Min. Lot Width
T1	100'
T3	100'
T4-R	100'
T4-O	100'
T5	100'

D. MINIMUM LOT AREA

Zone	Min. Lot Area
T1	10,000 sq. ft.
T3	10,000 sq. ft.
T4-R	10,000 sq. ft.
T4-O	10,000 sq. ft.
T5	10,000 sq. ft.

E. MINIMUM SETBACKS TO ADJACENT PROPERTIES

Zone	Front	Side	Back
T1	10'	5'	10'
T3	10'	5'	10'
T4-R	10'	5'	10'
T4-O	10'	5'	10'
T5	10'	5'	10'

F. MINIMUM SETBACKS TO ADJACENT PROPERTIES

Zone	Front	Side	Back
T1	10'	5'	10'
T3	10'	5'	10'
T4-R	10'	5'	10'
T4-O	10'	5'	10'
T5	10'	5'	10'

G. MINIMUM SETBACKS TO ADJACENT PROPERTIES

Zone	Front	Side	Back
T1	10'	5'	10'
T3	10'	5'	10'
T4-R	10'	5'	10'
T4-O	10'	5'	10'
T5	10'	5'	10'

H. MINIMUM SETBACKS TO ADJACENT PROPERTIES

Zone	Front	Side	Back
T1	10'	5'	10'
T3	10'	5'	10'
T4-R	10'	5'	10'
T4-O	10'	5'	10'
T5	10'	5'	10'

I. MINIMUM SETBACKS TO ADJACENT PROPERTIES

Zone	Front	Side	Back
T1	10'	5'	10'
T3	10'	5'	10'
T4-R	10'	5'	10'
T4-O	10'	5'	10'
T5	10'	5'	10'

J. MINIMUM SETBACKS TO ADJACENT PROPERTIES

Zone	Front	Side	Back
T1	10'	5'	10'
T3	10'	5'	10'
T4-R	10'	5'	10'
T4-O	10'	5'	10'
T5	10'	5'	10'

K. MINIMUM SETBACKS TO ADJACENT PROPERTIES

Zone	Front	Side	Back
T1	10'	5'	10'
T3	10'	5'	10'
T4-R	10'	5'	10'
T4-O	10'	5'	10'
T5	10'	5'	10'

L. MINIMUM SETBACKS TO ADJACENT PROPERTIES

Zone	Front	Side	Back
T1	10'	5'	10'
T3	10'	5'	10'
T4-R	10'	5'	10'
T4-O	10'	5'	10'
T5	10'	5'	10'

M. MINIMUM SETBACKS TO ADJACENT PROPERTIES

Zone	Front	Side	Back
T1	10'	5'	10'
T3	10'	5'	10'
T4-R	10'	5'	10'
T4-O	10'	5'	10'
T5	10'	5'	10'

N. MINIMUM SETBACKS TO ADJACENT PROPERTIES

Zone	Front	Side	Back
T1	10'	5'	10'
T3	10'	5'	10'
T4-R	10'	5'	10'
T4-O	10'	5'	10'
T5	10'	5'	10'

O. MINIMUM SETBACKS TO ADJACENT PROPERTIES

Zone	Front	Side	Back
T1	10'	5'	10'
T3	10'	5'	10'
T4-R	10'	5'	10'
T4-O	10'	5'	10'
T5	10'	5'	10'

P. MINIMUM SETBACKS TO ADJACENT PROPERTIES

Zone	Front	Side	Back
T1	10'	5'	10'
T3	10'	5'	10'
T4-R	10'	5'	10'
T4-O	10'	5'	10'
T5	10'	5'	10'

Q. MINIMUM SETBACKS TO ADJACENT PROPERTIES

Zone	Front	Side	Back
T1	10'	5'	10'
T3	10'	5'	10'
T4-R	10'	5'	10'
T4-O	10'	5'	10'
T5	10'	5'	10'

R. MINIMUM SETBACKS TO ADJACENT PROPERTIES

Zone	Front	Side	Back
T1	10'	5'	10'
T3	10'	5'	10'
T4-R	10'	5'	10'
T4-O	10'	5'	10'
T5	10'	5'	10'

S. MINIMUM SETBACKS TO ADJACENT PROPERTIES

Zone	Front	Side	Back
T1	10'	5'	10'
T3	10'	5'	10'
T4-R	10'	5'	10'
T4-O	10'	5'	10'
T5	10'	5'	10'

T. MINIMUM SETBACKS TO ADJACENT PROPERTIES

Zone	Front	Side	Back
T1	10'	5'	10'
T3	10'	5'	10'
T4-R	10'	5'	10'
T4-O	10'	5'	10'
T5	10'	5'	10'

U. MINIMUM SETBACKS TO ADJACENT PROPERTIES

Zone	Front	Side	Back
T1	10'	5'	10'
T3	10'	5'	10'
T4-R	10'	5'	10'
T4-O	10'	5'	10'
T5	10'	5'	10'

V. MINIMUM SETBACKS TO ADJACENT PROPERTIES

Zone	Front	Side	Back
T1	10'	5'	10'
T3	10'	5'	10'
T4-R	10'	5'	10'
T4-O	10'	5'	10'
T5	10'	5'	10'

W. MINIMUM SETBACKS TO ADJACENT PROPERTIES

Zone	Front	Side	Back
T1	10'	5'	10'
T3	10'	5'	10'
T4-R	10'	5'	10'
T4-O	10'	5'	10'
T5	10'	5'	10'

X. MINIMUM SETBACKS TO ADJACENT PROPERTIES

Zone	Front	Side	Back
T1	10'	5'	10'
T3	10'	5'	10'
T4-R	10'	5'	10'
T4-O	10'	5'	10'
T5	10'	5'	10'

Y. MINIMUM SETBACKS TO ADJACENT PROPERTIES

Zone	Front	Side	Back
T1	10'	5'	10'
T3	10'	5'	10'
T4-R	10'	5'	10'
T4-O	10'	5'	10'
T5	10'	5'	10'

Z. MINIMUM SETBACKS TO ADJACENT PROPERTIES

Zone	Front	Side	Back
T1	10'	5'	10'
T3	10'	5'	10'
T4-R	10'	5'	10'
T4-O	10'	5'	10'
T5	10'	5'	10'

- LEGEND: THE TRANSECT**
- T1 (The Natural Zone)
 - T3 (The Sub-Urban Zone)
 - T4-R (The Neighborhood General Restricted Zone)
 - T4-O (The Neighborhood General Open Zone)
 - T5 (The Urban Center Zone)
 - Civic
 - WETLANDS
 - 100 YR. FLOOD
 - NEUSE RIPARIAN BUFFER
 - STORMWATER FACILITY
 - PHASE LINE
 - ONE-WAY ALLEY

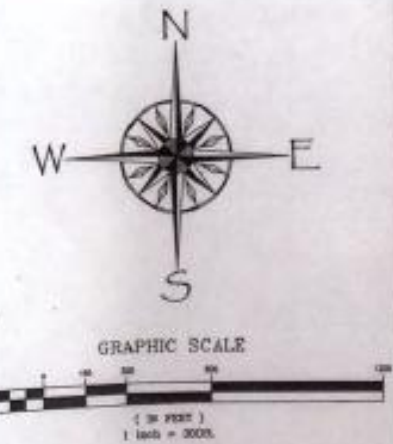
- Boundary information provided by Timmons Group.
- Adjacent property owner information provided by Wake County GIS.
- Planimetrics for property and adjacent properties provided by Wake County GIS.
- F.E.M.A. flood information provided by maps 37200750001 and 3720700001.
- Wetlands information provided by Carolina Ecosystems, Inc. dated January 2014.
- Topography from field information by Wake County GIS.
- Stream and Neuse Riparian Buffer information by Carolina Ecosystems, Inc. dated January 2014.
- Phasing is preliminary and subject to change.
- Refer to transect designations, development standards chart, permitted uses chart and design guidelines for all building development. Any requirements not specifically referred to in this Master Plan shall revert to the Town of Garner UDD requirements.
- Right of way dedication for Street "A" will be provided with the first phase of development and prior to approval of construction documents.
- The amenity center will be built in the first phase of development after crossing the railroad. The amenity center will consist of a pool of a minimum size of 3,000 s.f. and a cabana of a minimum size of 4,500 s.f.

SUMMARY BY DEVELOPMENT FROM 1

TRACT	SIZE	DWELLING UNITS MAX.	MAX. RESIDENTIAL SQ. FT.	MAXIMUM GROSS TRACT AREA
TRACT 1	10.00 AC	200 UNITS	21,000 SQ. FT.	N/A
TRACT 2	20.00 AC	400 UNITS	42,000 SQ. FT.	N/A
TOTAL	30.00 AC	600 UNITS	63,000 S.F.	2.25 DECREASE

SITE DATA

SITE AREA	267.83 AC
MAX. DWELLING UNITS	669 UNITS
NON-RESIDENTIAL S.F.	35,000 S.F.



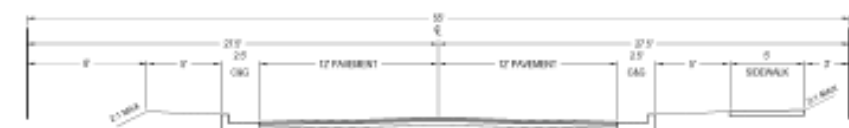
REVISIONS:

- 1/30/15 - Revised per comment
- 4/27/15 - Revised per comment
- 6/5/15 - Revised per comments
- 7/14/15 - Revised per comment

TRANSECT PLAN
SWIFT CREEK STATION
 Garner, North Carolina
 Forest of Swift Creek LLC

SCALE:
 1"=200'
 DRAWN BY:
 T.M.T.
 PROJECT #
 13003
 DATE:
 10/01/2014
 SHEET
MP-2
 OF 13





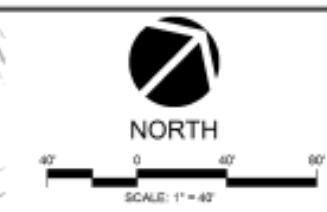
TYPICAL LOCAL STREET SECTION
RTS



CLIFFORD ROAD WIDENING
TYPICAL CROSS SECTION
RTS



NOTES:
1. LOCAL STREET SHALL BE 15' RW
2. GRADES SHALL NOT EXCEED 10%
3. NORMAL CROWN OF 1/4" PER FOOT



SITE DATA

CURRENT OWNER: PEGGY TIGSON LORRAINE O'BRYAN
SITE ADDRESS: 341 CLIFFORD ROAD
GARNER NC
PLOT: 1629-04-460
SUBDIVISION AREA: 3.1134 AC
PROPOSED LOTS: 16 LOTS
PROPOSED DENSITY: 2.52 UNITS/AC
OPEN SPACE REQUIRED @ 10%: 31.134 SF
OPEN SPACE PROVIDED: 33.370 SF
OVERALL COMMON OPEN SPACE: 40.236 SF
HEIGHT-OF-WAY AREA: 44.881 SF
AREA IN LOTS: 186.854 SF
ZONED: R-10
OVERLAY DISTRICT: SWIFT CREEK OVERLAY DISTRICT
PROPOSED ZONING: R-10 CUD
BUILDING SETBACKS (R-10):
FRONT: 25'
REAR: 10'
SIDE: 5' MIN. 10' MIN. CORNERED
IF LESS THAN 12' A 5' PROPERTY DIMENSION
EASEMENT MUST BE PROVIDED ON ADJACENT
LOT AND RECORDED ON FINAL PLAT
BUILDING HEIGHT: 35' MAX
EXISTING IMPERVIOUS AREA: 415,734 SF
PROPOSED IMPERVIOUS AREA (MAX. 30% OF SITE): 175,000 SF

GENERAL NOTES

- BOUNDARY INFORMATION TAKEN FROM DEEDS. EXISTING TOPOGRAPHIC INFORMATION TAKEN FROM WAKE COUNTY GIS DATA. EXISTING UNDERGROUND STRUCTURES AND UTILITIES BASED UPON FIELD SURVEYS AND BEST AVAILABLE INFORMATION. THE CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING EXISTING CONDITIONS, INCLUDING THE HORIZONTAL AND VERTICAL LOCATION OF ALL UTILITIES PRIOR TO STARTING CONSTRUCTION AND NOTIFY ENGINEER OF ANY DISCREPANCIES.
- THE CONTRACTOR SHALL CONTACT NORTH CAROLINA ONE CALL AT 811 AND THE CITY OF RALEIGH UTILITIES. THE CONTRACTOR SHALL CALL AT LEAST 48 HOURS PRIOR TO ANY DIGGING.
- ALL CONSTRUCTION SHALL BE IN CONFORMANCE TO THE TOWN OF GARNER AND NC DOT STANDARDS AND SPECIFICATIONS.
- ALL WATER AND SANITARY REPAIR INSTALLATION SHALL BE IN CONFORMANCE WITH THE CITY OF RALEIGH PUBLIC UTILITY DEPARTMENT STANDARDS AND SPECIFICATIONS.
- THE SUBJECT PROPERTY IS NOT LOCATED IN A FLOOD HAZARD AREA PER FIRM PANEL MAP NUMBER 172071180U DATED MAY 2, 2008.

SUBDIVISION NOTES

- ALL PERMITTING AND TEMPORARY EXTERIOR SIGNAGE REQUIRE AN APPROVED SIGN PERMIT FROM THE TOWN OF GARNER PRIOR TO INSTALLATION.
- TREE PROTECTION FENCING SHALL BE REQUIRED ADJACENT TO ALL NON-DISTURBED PORTIONS OF THE NUSE RIVER BUFFER. INSTALLATION OF FENCING WILL BE REQUIRED PRIOR TO GRADING. INDIVIDUAL BUILDING LOTS MAY BE REQUIRED TO INSTALL TREE PROTECTION FENCING PRIOR TO ISSUANCE OF A BUILDING PERMIT.
- ALL COMMON OPEN SPACE SHALL BE PRIVATE AND OWNED AND MAINTAINED BY THE HOMEOWNERS ASSOCIATION. CONTACT CHARLES PHILIPS WITH WAKE COUNTY ENVIRONMENTAL HEALTH DIVISION AT (919) 798-8108 FOR REVIEW AND APPROVAL OF THE SOIL EROSION AND SEDIMENTATION PLAN. APPLICATION OF THIS PLAN BY WAKE COUNTY IS CONTINGENT ON A LETTER FROM THE TOWN STATING THAT THE REQUIRED TREE PROTECTION FENCING HAS BEEN INSTALLED, INSPECTED AND APPROVED BY THE PLANNING DEPARTMENT.
- STREET NAME APPROVAL WILL BE REQUIRED AT CONSTRUCTION PLAN APPROVAL.
- AT THE CONCLUSION OF THE PROJECT ALL STORMWATER CONTROL STRUCTURES (SCMS) INSTALLED ON-SITE MUST BE CERTIFIED BY A DESIGN PROFESSIONAL AND THE TOWN OF GARNER ENGINEERING DEPARTMENT MUST RECEIVE ALL AS-BUILT DRAWINGS PRIOR TO RECEIVING A CERTIFICATE OF OCCUPANCY.
- A MAINTENANCE PLAN WILL BE REQUIRED FOR ALL SCMS INSTALLED TO ADDRESS NITROGEN LOADING AND ANOXY FLOW ATTENUATING REQUIREMENTS. THIS MAINTENANCE PLAN IS REQUIRED TO BE RECORDED AT THE WAKE COUNTY REGISTER OF DEEDS PRIOR TO RECEIVING A CERTIFICATE OF OCCUPANCY.
- NO DISTURBANCE WITHIN THE NUSE BUFFER UNTIL ALL IMPACT PERMITS ARE OBTAINED FROM NCDDM AND/OR ACOE. COPIES OF IMPACT PERMITS ARE REQUIRED TO BE SUBMITTED TO THE TOWN PRIOR TO DISTURBANCE.
- THE TOWN WILL BE RESPONSIBLE FOR PAYMENT OF MONTHLY COSTS FOR STREET LIGHTING AND THE DEVELOPER WILL BE RESPONSIBLE FOR ALL INITIAL FEES CHARGED WITH THE LIGHTING INSTALLATION. ALL INSTALLATION FEES ARE REQUIRED TO BE PAID UP FRONT AT THE TIME OF INSTALLATION. STREET LIGHTING ALONG CLIFFORD ROAD WILL NEED TO BE COORDINATED WITH DUNE ENERGY AN PLANS MUST BE INCLUDED IN CONSTRUCTION.
- CONTACT JUSTIN WISSEKILL IN THE ENGINEERING DEPARTMENT 1-919-772-4458 OR jwissek@garnernc.gov TO SCHEDULE A PRECONSTRUCTION MEETING PRIOR TO OBTAINING BUILDING PERMITS.
- CITY OF RALEIGH REQUIRES INFRASTRUCTURE PLAN APPROVAL PRIOR TO CONSTRUCTION.
- AN ENGINEERED FIRE FLOW DATA REPORT SHALL BE SUBMITTED FOR REVIEW AND APPROVAL FOR THE SUBDIVISION IN ACCORDANCE WITH APPENDIX B PRIOR TO CONSTRUCTION PLAN APPROVAL.
- ACCEPTANCE OF UTILITIES BY THE CITY IS SUBJECT TO ROW AND/OR EASEMENT DEDICATION PLAT BEING APPROVED.



301 GLENWOOD AVE. 220
RALEIGH, NC 27603
PHONE: 919-367-8770
FAX: 919-323-0332

www.cegroupinc.com

License # C-1739



PRELIMINARY SUBDIVISION PLAN
TINGEN PROPERTY
PRELIMINARY SUBDIVISION PLAN
GARNER, NORTH CAROLINA

Date: 4/10/2017
Scale: 1" = 40'
Drawn: RJH
Checked: ALF
Project No: 139-07
Computer Draw Name: 139-07 prelim subd plan

Sheet No: 3
Of 7

PRELIMINARY
FOR REVIEW ONLY
NOT RELEASED
FOR CONSTRUCTION